

1 Introduced November 13, 2012, by
2 Councilwoman Harbison, seconded by
3 Councilman Caruso (by request of
4 Administration)

5 **Item No. 12-11-2961**

6 **ORDINANCE NO. 3680**

7
8 A proposed ordinance annexing and zoning the property located at 1600
9 Lindberg Drive, more particularly identified as Lots 33 and 34, Square 1, Lindberg Glen
10 Annex #1, comprising 0.361 acres in Section 12, Township 9 South, Range 14 East, from
11 Parish HC-2 Highway Commercial to City C-4 Highway Commercial, as petitioned by
12 Jesse Bergens (herein referred to as "Jesse Bergens" and/or "Petitioner"), **upon**
13 **completion of all of the following conditions within the deadlines set out**
14 **hereinbelow:**

15 1) **Resubdivision to be completed by September 1, 2013:** Petitioner
16 shall cause to have Lots 33 and 34, Lindberg Glen Subdivision, Annex No. 1 (hereinafter
17 referred to as "Bergens' Property"), resubdivided into one lot; and

18
19 2) **Parking Requirements to be completed by September 1, 2013:**
20 Petitioner shall cause the Bergens' Property to meet all parking requirements as set out in
21 Appendix A, Part 4, Sections 4.1 through 4.225 and Part 9, Section 9.24 of the Code of
22 Ordinances of the City of Slidell; and

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24 3) **Landscaping Requirements to be completed by September 1, 2013:**
25 Petitioner shall cause the Bergens' Property to meet all landscaping requirements as set
26 out in Appendix A, Part 2, Section 2.25 of the Code of Ordinances for the City of Slidell;
27 and

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29 4) **Concrete Driveways to be completed by September 1, 2013:**
30 Petitioner shall cause the Bergens' Property to meet and adhere to Appendix B.1,
31 Standard Subdivision Specifications, Section 3: Concrete Driveways and Sidewalks of the
32 Code of Ordinances for the City of Slidell.
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4 WHEREAS, Jesse Bergens acknowledges and understands that said
5 annexation is conditioned upon complete compliance with the foregoing requirements
6 within the deadlines set out herein; and
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9 WHEREAS, Jesse Bergens further acknowledges and understands that any
10 and all costs incurred by him or by anyone on his behalf in connection with his petition for
11 annexation and in satisfaction of the conditions set out herein are his sole responsibility;
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13 and
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16 WHEREAS, Jesse Bergens further acknowledges and understands that
17 failure to meet all of the foregoing requirements on or before the deadlines set out herein,
18 shall result in the denial of his Petition for Annexation and said property shall be, therefore,
19 considered outside of the City limits of Slidell and revert back to St. Tammany Parish; and
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22 WHEREAS, Jesse Bergens further acknowledges and understands that
23 should the Bergens' Property not be lawfully annexed into the City of Slidell, Petitioner is
24 and shall remain solely responsible for any and all expenses expended by Petitioner or by
25 anyone on his behalf in connection therewith.
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29 WHEREAS, Jesse Bergens hereby indemnifies and holds harmless City from
30 any claims by any individual, company or corporation for any cost or expenses incurred by
31 him in connection with his petition for annexation and in satisfaction of the conditions set
32 out herein; and
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4 WHEREAS, City has previously authorized City water to be provided to the
5 Bergens' Property subject to and conditioned upon the successful annexation of said
6 property into the City limits of Slidell; and
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9 WHEREAS, City reserves the right to immediately withdraw City water
10 services to the Bergens' Property, should, for any reason whatsoever, Petitioner fail to
11 meet all of the foregoing requirements on or before the deadlines set out hereinabove.
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14 NOW THEREFORE BE IT ORDAINED by the Slidell City Council that the
15 property located at 1600 Lindberg Drive, more particularly identified as Lots 33 and 34,
16 Square 1, Lindberg Glen Annex #1, comprising 0.361 acres in Section 12, Township 9
17 South, Range 14 East, from Parish HC-2 Highway Commercial to City C-4 Highway
18 Commercial, as petitioned by Jesse Bergens (herein referred to as "Jesse Bergens" and/or
19 "Petitioner"), be annexed into the City of Slidell **upon completion of all of the following**
20 **conditions within the deadlines set out hereinbelow:**
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25 1) **Resubdivision to be completed by September 1, 2013:** Petitioner
26 shall cause to have Lots 33 and 34, Lindberg Glen Subdivision, Annex No. 1 (hereinafter
27 referred to as "Bergens' Property"), resubdivided into one lot; and
28

29
30 2) **Parking Requirements to be completed by September 1, 2013:**
31 Petitioner shall cause the Bergens' Property to meet all parking requirements as set out in
32 Appendix A, Part 4, Sections 4.1 through 4.225 and Part 9, Section 9.24 of the Code of
33 Ordinances of the City of Slidell; and
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4 3) **Landscaping Requirements to be completed by September 1, 2013:**

5
6 Petitioner shall cause the Bergens' Property to meet all landscaping requirements as set
7 out in Appendix A, Part 2, Section 2.25 of the Code of Ordinances for the City of Slidell;
8
9 and

10
11 4) **Concrete Driveways to be completed by September 1, 2013:**

12 Petitioner shall cause the Bergens' Property to meet and adhere to Appendix B.1,
13
14 Standard Subdivision Specifications, Section 3: Concrete Driveways and Sidewalks of the
15
16 Code of Ordinances for the City of Slidell.

17 BE IT FURTHER ORDAINED by the Slidell City Council that said annexation
18
19 is **conditioned** upon complete compliance with the foregoing requirements within the
20
21 deadlines set out herein; and

22 BE IT FURTHER ORDAINED by the Slidell City Council that any and all costs
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24 incurred by Jesse Bergens or by anyone on his behalf in connection with his petition for
25
26 annexation and in satisfaction of the conditions set out herein are his sole responsibility;
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28 and

29 BE IT FURTHER ORDAINED by the Slidell City Council that failure by
30
31 Petitioner to meet all of the foregoing requirements on or before the deadlines set out
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33 herein, shall result in the denial of his Petition for Annexation and said property shall be,
34
35 therefore, considered outside of the City limits of Slidell and revert back to St. Tammany
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37 Parish; and
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4 BE IT FURTHER ORDAINED by the Slidell City Council that should the
5 Bergens' Property not be lawfully annexed into the City of Slidell, Petitioner is and shall
6 remain solely responsible for any and all expenses expended by Petitioner or anyone on
7 his behalf in connection therewith; and
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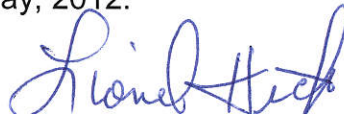
10 BE IT FURTHER ORDAINED by the Slidell City Council that the City has
11 previously authorized City water to be provided to the Bergens' Property subject to and
12 conditioned upon the successful annexation of said property into the City limits of Slidell;
13 and
14


15 BE IT FURTHER ORDAINED by the Slidell City Council that the City reserves
16 their right to immediately withdraw City water services to the Bergens' Property, should, for
17 any reason whatsoever, Petitioner fail to meet all of the foregoing requirements on or
18 before the deadlines set out hereinabove.
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20 BE IT FURTHER ORDAINED that this Ordinance be effective upon adoption.
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22 **ADOPTED** this 14th day of May, 2012.
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Lionel Hicks
President of the Council
Councilman, District A


Freddy Drennan
Mayor


Thomas P. Reeves
Council Administrator

DELIVERED	5/17/13
12:00 p.m.	to the Mayor
RECEIVED	5/28/13
1:45 pm	from the Mayor