

1 Introduced February 5, 2013, by Councilman
2 Hicks, seconded by Councilman Cusimano, (by
3 request of Administration)

4 **Item No. 13-02-2972**

5
6 **ORDINANCE NO. 3674**

7
8 An ordinance amending the Code of Ordinances of the City of Slidell,
9 Appendix A - Zoning, Part 2. Schedule of District Regulations Adopted, Part 9, Definitions,
10 and Appendix B - Subdivision Regulations.

11 NOW THEREFORE BE IT ORDAINED by the Slidell City Council that it does
12 hereby amend the Code of Ordinances of the City of Slidell, Appendix A - Zoning, Part 2.
13 Schedule of District Regulations Adopted, Section 2.2216, Building Materials, Part 9,
14 Definitions, and Appendix B - Subdivision Regulations as follows:
15

16
17 **Appendix A - Zoning, Part. 2 Schedule of District Regulations Adopted,**
18 **Section 2.2216 - Building Materials, is deleted in its entirety and replaced with the**
19 **following:**
20

21
22 "2.2216 Building Materials.

- 23
24 A. Elevations of front building walls in all commercial zones shall have
25 exterior façade surface material of brick, stone, stucco, glass, wood,
26 fiber-cement siding, vinyl siding, or architectural metal panel as
27 defined in Section 9.3a, or any combination thereof if approved by the
28 Planning Department. Vinyl siding shall compose no more than 25
29 percent of the total exterior front wall space. Building walls that face a
30 public street or a parking lot of 60 feet in width shall be treated as a
31 front wall. For buildings that have drive-thru service, all elevations
32 shall be treated as front wall elevations.
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4 B. Side wall elevations shall have an exterior façade surface material of
5 brick, stone, stucco, glass, wood, fiber-cement siding, vinyl siding, or
6 architectural metal panel as defined in Section 9.3a, or any
7 combination thereof as approved by the Planning Department, starting
8 25 feet back from the front of the building or 25% of the length of the
9 side of the building, whichever is greater. The remaining wall area
10 may be composed of 26 gauge or heavier standard metal panels
11 commonly known as R Panels and be screened with a two-tier
12 landscaping area as approved by the Planning Department.

13 C. Rear wall elevations may be composed of 26 gauge or heavier
14 standard metal panels commonly known as R Panels, except as
15 provided for in 2.2216, A and B.”

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24 **In Appendix A - Zoning, Part 9. Definitions, add the following Section after**

25 **Section 9.3 Agriculture:**

26
27 “9.3a *Architectural metal panel.* A metal panel of 26 gauge or heavier which
28 is embossed or prefinished and which has the appearance of
29 masonry, stucco, or any approved design approved by the Planning
30 Department.”

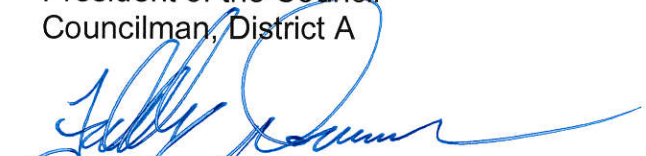
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33 **Appendix B - Subdivision Regulations, Part 3. Standards of Design is hereby**
34 **deleted in its entirety and replaced with the design standards attached hereto and**
35 **made a part hereof.**
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1 **ORDINANCE NO. 3674**
2 **ITEM NO. 13-02-2972**
3 **PAGE 3**

4 **ADOPTED** this 12th day of March, 2013.

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8 Lionel Hicks
9 President of the Council
10 Councilman, District A

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12 
13 Freddy Drennan
14 Mayor

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17 Thomas P. Reeves
18 Council Administrator

DELIVERED	2:45 p.m.
3/13/13	to the Mayor
RECEIVED	3:15 pm
3/14/13	from the Mayor

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Contents

PART 13 DESIGN STANDARDS	9
ARTICLE 13.1 PURPOSE AND APPLICABILITY	10
Sec. 13.101 Purpose	10
Sec. 13.102 Application	10
ARTICLE 13.2 RESIDENTIAL DESIGN STANDARDS	10
Sec. 13.201 Single-Family and Two-Family Standards	10
Sec. 13.202 Ground Floor Treatments for Elevated Residences	11
Sec. 13.203 Multifamily Design Standards	20
ARTICLE 13.3 NONRESIDENTIAL AND MIXED-USE DESIGN STANDARDS	26
Sec. 13.301 Purpose and Applicability	26
Sec. 13.302 Applicability to Development Types	27
Sec. 13.303 Façade Treatments	27
Sec. 13.304 Exterior Wall Finish Materials	29
Sec. 13.305 Building Form and Design	30
Sec. 13.306 Mechanical Equipment and Meters	36
Sec. 13.307 Service Bays	37
Sec. 13.308 Project Design and Materials Mock-Up	37
ARTICLE 13.4 SPECIAL DISTRICT STANDARDS	37
Sec. 13.401 Purpose and Applicability	37
Sec. 13.402 Design Standards for District NC	38
Sec. 13.403 Design Standards for District OT	38
Sec. 13.404 Sidewalks, Plazas, Pedestrian Amenities, and Site Requirements	41
Sec. 13.405 Parking Lots and Parking Garages	42

PART 13 DESIGN STANDARDS

ARTICLE 13.1 PURPOSE AND APPLICABILITY

Sec. 13.101 Purpose

This Part is for the purpose of addressing the quality, sustainable design of buildings and building sites so as to preserve and enhance the visual character of the City. The standards of this Part seek to provide for buildings constructed of quality, durable materials; building sites and developments that are functional, safe, and attractive; and a community character that conveys a positive, lasting impression on both residents and visitors.

Sec. 13.102 Application

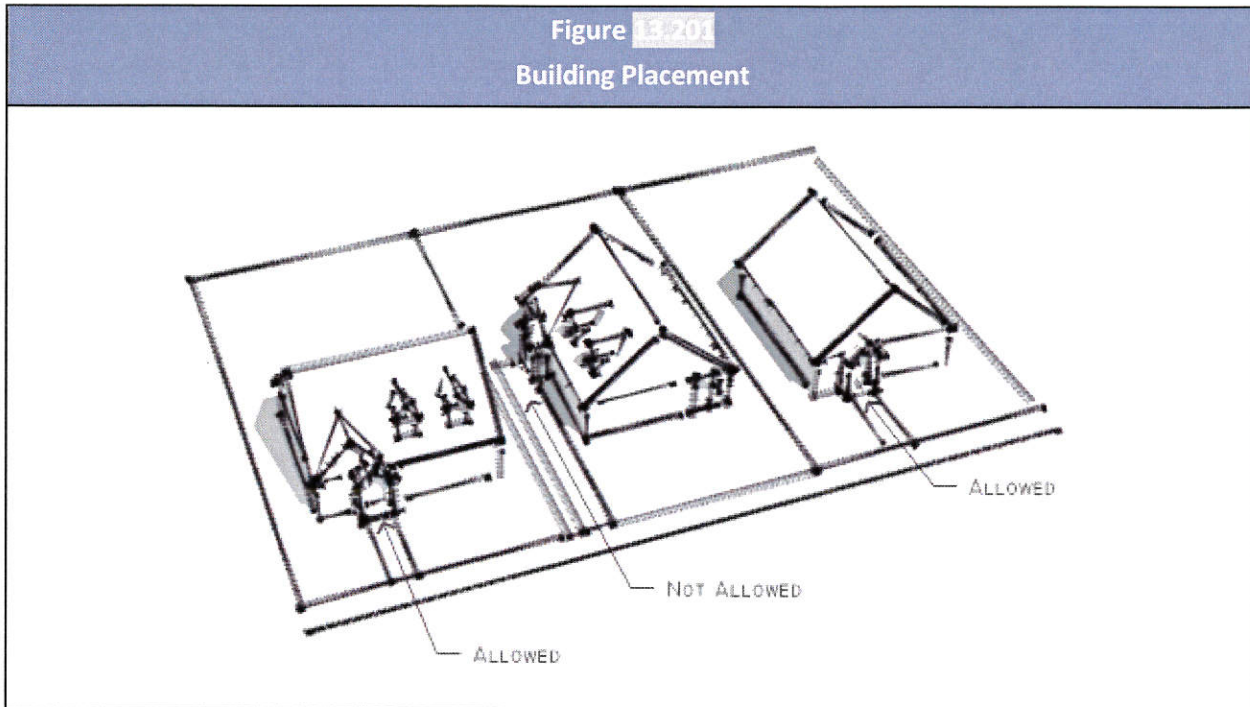
- A. **Generally.** The standards of this Part apply to new development, redevelopment, substantial improvement, and expansion of residential and nonresidential and mixed use buildings in all zoning districts, as described below.
- B. **Residential Design Standards.** Single-family, two-family, and multifamily development whether allowed as a permitted, limited, or conditional use in Districts E, AC.1, AC.2, AC.3, AC.4, A-1, A-2, or A-3 are subject to the standards set out in *Section 13.2, Residential Design Standards*, in addition to all other applicable standards of this UDC.
- C. **Nonresidential and Mixed-Use Design Standards.** Nonresidential and mixed-use developments whether allowed as a permitted, limited, or conditional use, in Districts PB, GC, MUC, PBC, or LI are subject to the standards set out in *Section 13.3, Nonresidential and Mixed-Use Design Standards*, in addition to all other applicable standards of this UDC.
- D. **Special District Standards.** Nonresidential and mixed-use developments whether allowed as a permitted, limited, or conditional use in Districts NC or OT are subject to the standards set out in *Section 13.4, Special District Design Standards*, in addition to all other applicable standards of this UDC.

ARTICLE 13.2 RESIDENTIAL DESIGN STANDARDS

Sec. 13.201 Single-Family and Two-Family Standards

- A. **Placement of Buildings.** The placement of a principal building in a perpendicular or sideways orientation on an interior or through lot is prohibited. See **Figure 13.201, Building Placement**.
- B. **Building Entrances.** All single-family residences and single building residential developments shall be designed such that a primary entrance and windows face a public street.
- C. **Maximum Number of Buildings per Lot.** There shall be a maximum of one principal building per single-family residential lot.

- D. **Windowless Walls.** Lot-line and patio variant lot line dwelling units shall not be designed with windows that provide views into the side yards of abutting property. However, windows may be permitted in walls designated as windowless, only if it is demonstrated that:
1. The adjoining land is a public right-of-way or servitude;
 2. Windows are frosted or composed of glass block, do not open, are materially offset from windows of any type on adjoining property, and satisfy all applicable building code requirements; or
 3. The adjoining land is commonly owned or public open space.



Sec. 13.202 Ground Floor Treatments for Elevated Residences

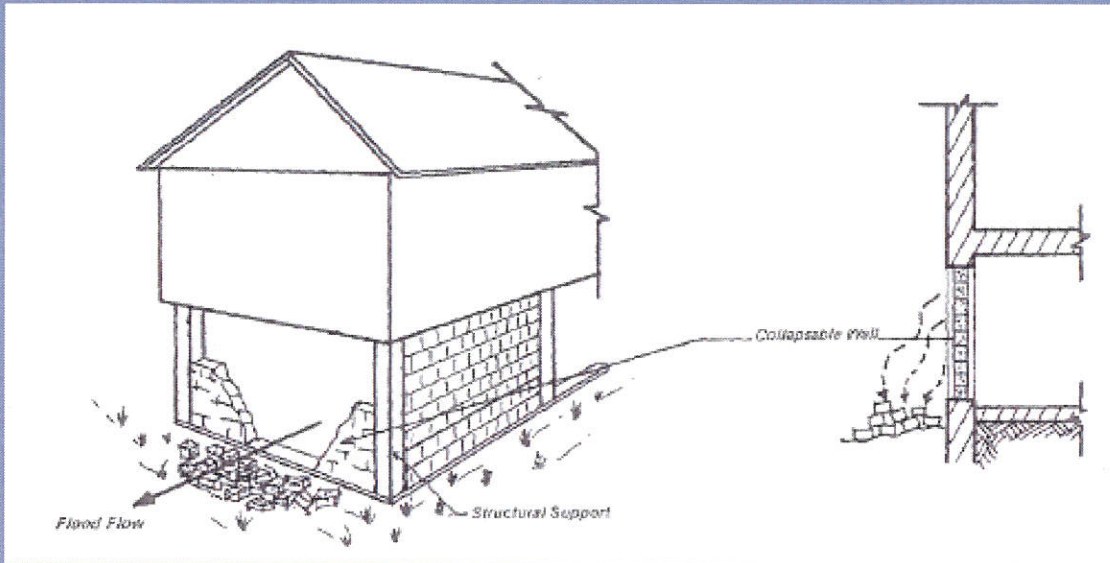
- A. **Purpose.** Design considerations for the treatment of elevated residences are important for the protection from flooding, but also for constructing residences that are aesthetically pleasing and compatible with the character of the neighborhood and community. The purpose of this Section is to provide for well-designed elevated residences for which there is a smooth transition from ground to dwelling, with the foundation being integrated with or complementing the structure itself. This may be accomplished with structural and/or non-structural improvements depending on the height of the base floor of the structure.
- B. **Requirements.** Residences that are elevated above grade, whether by columns, posts, piles, piers, pedestals, or extended foundation walls, shall enclose or substantially screen the structural members used to elevate the structure, as well as other ancillary improvements (e.g. areas used for parking of vehicles, building access, or storage). The means for enclosing or screening the foundation (i.e. the ground level beneath an elevated residence) are specified in this Section.
- C. **Design Principles.** The most important consideration is to design an elevated foundation and its enclosure and/or screening in a manner that resists the forces caused by the base flood and the

character of its flood waters. Foundations and their enclosures and/or screens that are built in these areas and under these flood conditions must be able to withstand the hydrostatic flood forces placed upon them, resist the impact of water-borne debris, and offer the minimum possible resistance to flow in order to reduce the dynamic forces without reducing the structural strength of the foundation.

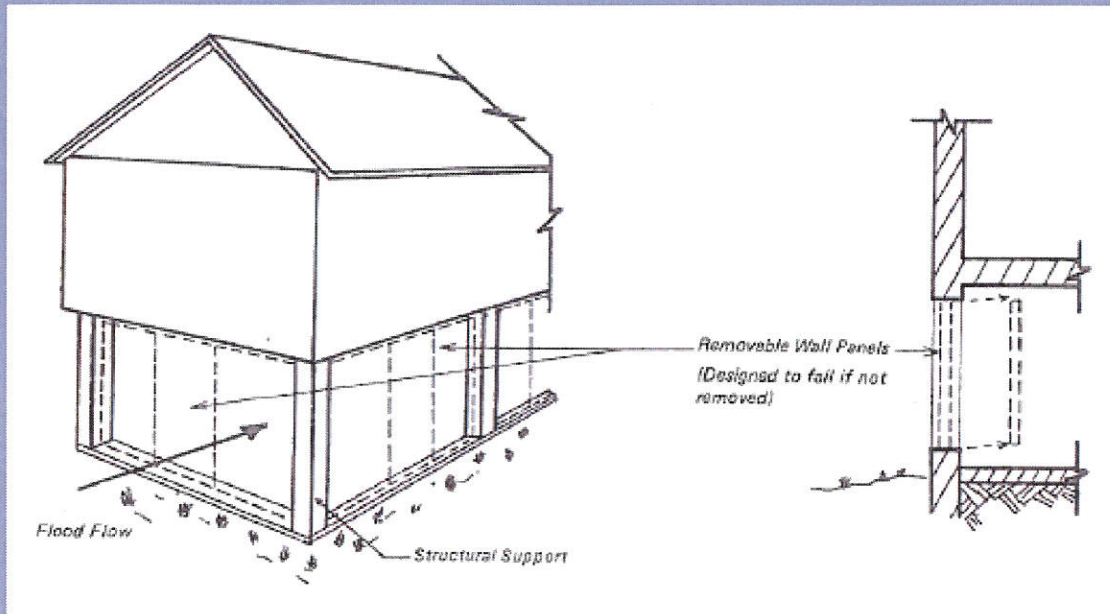
- D. **Use of Fill.** The use of fill for elevating residences shall be in accordance with *Section 4, Filling and Fine Grading* of the Standard Subdivision Specifications and *Section 9.206, Fill*.
- E. **Full Enclosure of Foundation Area.** Fully enclosed foundation areas shall be in accordance with *Section 9.205, Standards and Requirements*.
- F. **Required Openings.** Walls that enclose the foundation area shall contain openings to allow for automatic entry and exit of floodwaters during design flood conditions. These may be non-engineered or engineered openings, which shall meet the requirements of *Section 9.205, Standards and Requirements, as well as* the American Society of Civil Engineers (ASCE) report entitled, *Flood Resistant Design and Construction (ASCE 24-05)*.
- G. **Door Openings above Ground Level.** Door openings that were at ground level prior to elevation and are above ground level after elevation shall either be made accessible by way of a walkway connecting to the main stairs or by way of an independent landing and stairs. Door openings that are no longer passable by way of no access, including garage doors of pre-elevated residences, shall be permanently and structurally enclosed and finished to match the materials and color of the façade. The latter shall be visually undetectable upon completion.
- H. **Non-Conversion Agreement Required.** An applicant proposing to structurally enclose the ground floor of a structure in the floodplain with a finished floor of five feet or more above grade shall be recorded with the Clerk of Court, with a stamped copy returned to the Engineering Department prior to the Certificate of Completion / Occupancy being issued.
- I. **Means of Enclosure.** The means of enclosing a foundation area may include structural and/or non-structural improvements, as follows:
 - 1. *Structural Enclosure Improvements.* Structural enclosure improvements include different types of wall systems that partially or fully enclose the foundation area. Walls used to form an enclosed foundation shall be designed so that they do not allow the pressure and velocity force of water and water-borne debris to load the structure excessively. Foundation systems shall be free of obstructions and attachments that will transfer flood forces to the structural system or that will restrict or eliminate free passage of flood waters during design flood conditions. Allowable structural improvements include:
 - a. Break-away walls that are designed to break away or fail under flood loads but remain attached to the residence or are of a weight that are designed to sink and thus, not create water-borne debris;
 - b. Detached walls that may be temporarily removed from the permanent structure and stored before a flood;
 - c. Hinged walls that are designed as hinged panels that may be swung out of the path of flood waters and debris; and

- d. Louvered walls that are designed to allow water to pass through them, which are allowable only in locations or situations where no debris flow is expected. See **Figure 13.202.1, Enclosure Systems**.

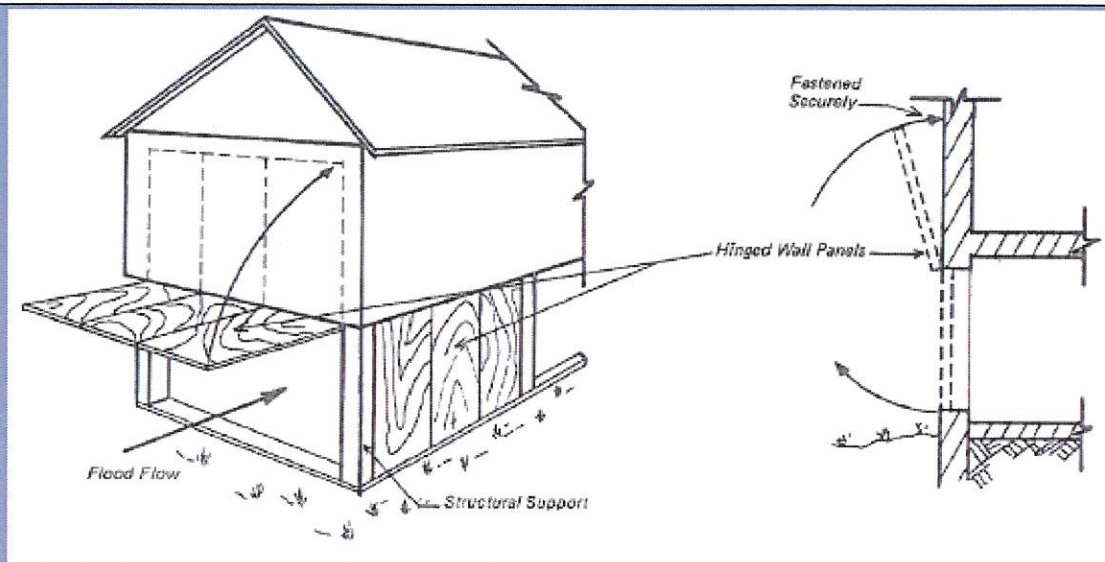
Figure 13.202.1
Enclosure Systems



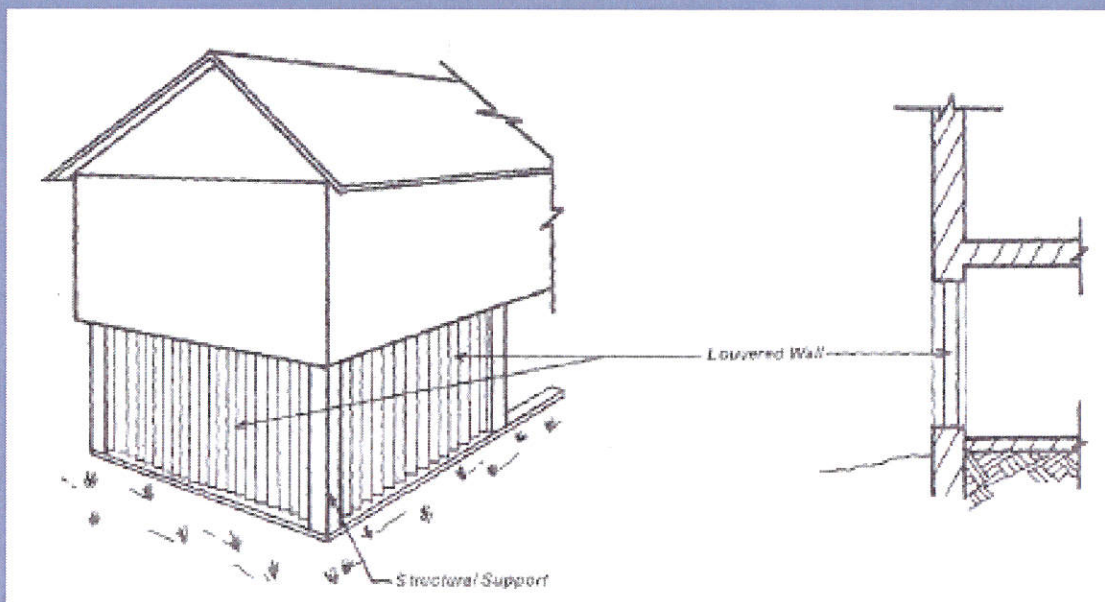
Break-Away Wall



Detached Wall



Hinged Wall



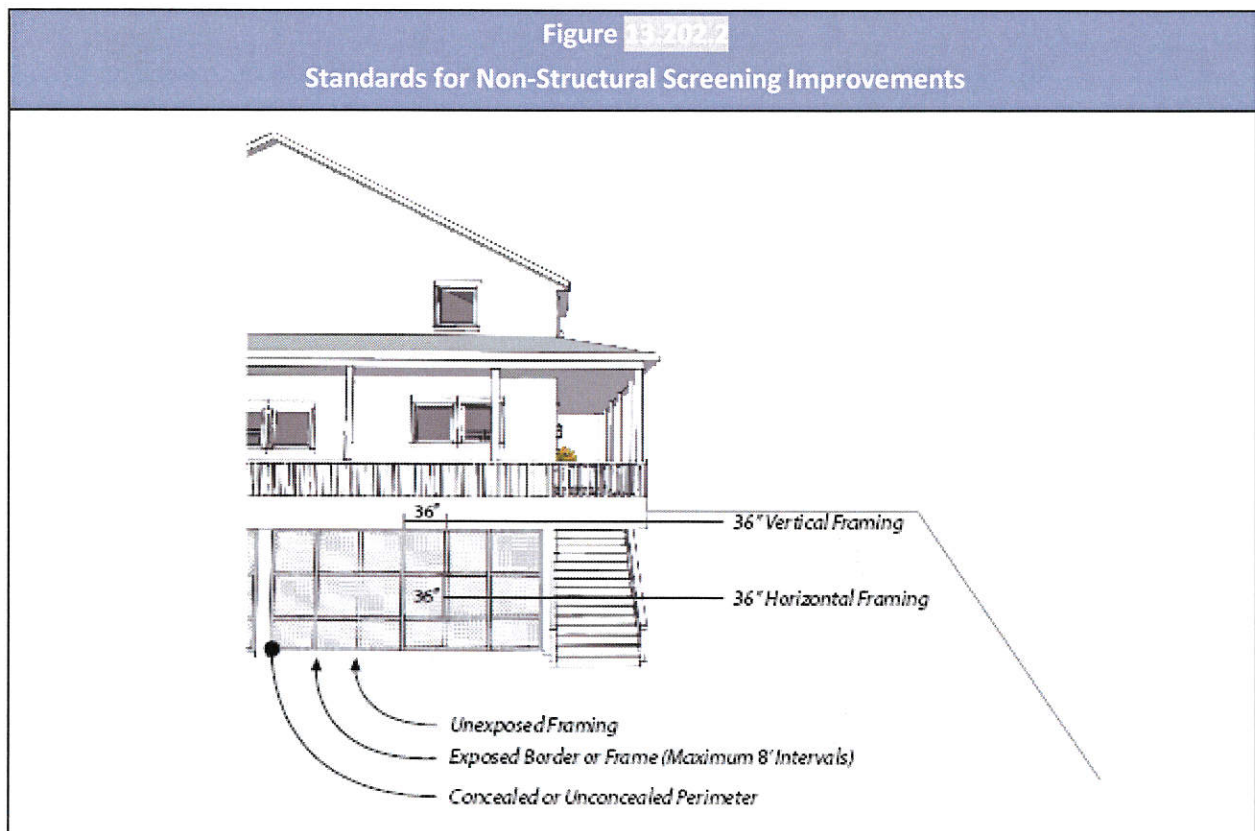
Louvered Wall

Source: *Elevated Residential Structures*, Flood Insurance Administration, National Flood Insurance Program, U.S. Department of Housing and Urban Development

2. **Structural Enclosure Improvement Design.** All ground-level enclosures shall be designed to:
 - a. Allow flood waters to rise and flow freely under the structure;
 - b. Not permit the enclosure walls themselves to become water borne debris; and
 - c. Not cause the accumulation of water-borne debris.
3. **Non-Structural Screening Improvements.** Non-structural screening improvements include finish materials attached or affixed to but not part of the foundation, which may include, but are not limited to, siding, veneer, or lattice panel systems, or other skirting materials. Landscaping may be used in addition to, and not in place of, non-structural screening improvements unless the

elevation is less than or equal to 30 inches from the mean ground level. Allowable non-structural improvements include:

- a. Wood or cement siding with a maximum allowable exposure of lap siding of eight inches. Prohibited siding materials including External Insulating Finishing System ("EIFS"), metal or aluminum siding and trim, plasticized materials, and vinyl;
- b. Veneer panel systems that are supported by a concealed or unconcealed border and horizontal and vertical framing with spacing of no more than 36 inches;
- c. Wood or vinyl lattice panels that are supported by a concealed or unconcealed border and horizontal and vertical framing with spacing of no more than 36 inches;
- d. Other skirting materials that are pre-approved by the Director for use as a non-structural screening improvement, which may be forwarded by the Director to the Planning Commission for their approval;
- e. Applied trim materials consisting of stained or painted wood, vinyl, or other painted or tinted materials that exhibit wood-like properties. Metal, concrete block, poured concrete, and unfinished wood are prohibited; and
- f. Landscaping adjacent to and within no more than 48 inches from the non-structural screening improvement. Where the elevation is less than or equal to 30 inches from the mean ground level, landscaping with a mature growth height of no less than 36 inches shall be planted in a continuous row along the elevations as set out in (K) below. See **Figure 13.202.2, Standards for Non-Structural Screening Improvements.**



- J. **Design of Structural and Non-Structural Enclosures.** Structural enclosure improvements and non-structural screening improvements shall be integrated with or complementary to the principal structure. Such improvements shall:
1. Have an opacity of 100 percent, excluding windows, doors, and other required openings, for structural enclosure improvements;
 2. Have an opacity of 50 percent or higher, excluding doors, for non-structural screening improvements;
 3. Match or complement the color of the principal structure or its trim;
 4. Be constructed or applied in a manner that maintains the patterns and proportions of the principal structure;
 5. Not continue for a distance of more than eight feet without an unconcealed border or frame, which border and frame shall align with other structural elements of the principal structure so as to maintain its patterns and proportions;
 6. Be bordered or framed by an allowable trim material that matches or complements the screening or the principal structure;
 7. Enclose or screen any unfinished columns, posts, piles, piers, or pedestals used to elevate the structure. Finished columns, posts, piles, piers, or pedestals may be visible and used to frame the screening improvements provided they are clad or finished to match or complement the color of the principal structure or its trim; and
 8. Be permanent in appearance.
- K. **Flood Damage Resistant Materials.** All structural enclosure improvements shall be constructed with flood damage resistant materials, which shall have sufficient strength, rigidity, and durability to adequately resist all flood related and other loads, unless designed to break away. Exposed structural and non-structural construction materials, including connections, shall be capable of resisting damage, deterioration, corrosion, or decay due to precipitation, wind-driven water, or other corrosive agents known to be present.
- L. **Public View.** Structural enclosure improvements and non-structural screening improvements shall be applied to all front and/or street-facing elevations, as well as along 50 percent of the entire side elevations that are not street-facing. The sidewall enclosure or screening improvement that are not street-facing shall connect to and continue from the front elevation for a distance of no less than 25 percent of the entire side elevation. The remaining 25 percent on the side elevation may be placed at the discretion of the homeowner.
- M. **Approval.** All structural enclosure improvements and non-structure screening improvements shall be submitted for review and approved by the Director prior to the issuance of a building permit, as set out in [Section TBD, Administrative Permits](#). The Director may forward the proposed improvements to the Planning Commission for their approval.
- N. **Applicability.** Structural enclosure improvements and non-structural screening improvements may be applied as set out in [Table 13.202, Application of Enclosure and Screening Improvements](#).

Table Application of Enclosure and Screening Improvements															
Means of Enclosure	Zoning Districts														
	Estate, Open Land, and Public Use			Residential					Professional and Commercial			Mixed Use		Industrial	
	OL	PU	E	AC.1	AC.2 thru NR	A-1	A-2	A-3	NC	PB	GC	OT	MUC	PBC	LI
Structural Enclosure Improvement	-	-	R	R	A	R	A	A	R	-	-	R	R	-	-
Non-Structural Screening Improvement	-	-	P	P	R	P	R	R	P	-	-	P	P	-	-
Notes: A = Acceptable R = Required P = Prohibited															

O. **Access to Elevated Residences.** Passable door openings that are above ground level shall be made accessible, subject to (G) above. One door shall serve as the primary opening with all other openings being secondary. The requirements of primary and secondary doors are as follows:

1. *Primary Door.*

- a. *Landing.* The primary door shall have a landing that is extended no less than four feet or more than six feet from the building façade and with a total area of no more than 48 square feet unless the landing joins a covered walkway that connects to a secondary door in which case it may exceed the maximum landing area.
- b. *Railing.* The landing shall provide a railing in accordance with the building code.
- c. *Landing Cover.* A roof projection shall extend one foot in each direction beyond the outer perimeter of the landing to provide cover and protection from the elements.
- d. *Stairs.* The stairs leading from the landing to the ground level shall be constructed parallel to the front building line. The stair case and stair treads shall be constructed within a maximum width of six feet from the building façade. Only in cases where there are inadequate dimensions to accommodate the building code required rise and run of stairs (e.g., inadequate lot width); where there are pre-existing, permanent obstructions; or where it is impractical to construct stairs (e.g. stairs terminating at or near a side property line making access impractical), the direction and/or dimensions of the landing and stairs may be modified provided the modifications are the minimum necessary to meet the building code and to practically accommodate the landing and stairs. Stairs that are perpendicular to the front building line and encroaching into the front setback shall be avoided if practicable. In instances of impracticality, applicants shall demonstrate maximum reasonable compliance with these standards. See **Figure 13.202.2, Standards for Access to Elevated Residences.**
- e. *Interior Stairs.* Where possible and practical, stairs shall be constructed within the foundation line, interior to the building envelope. See **Figure 13.202.4, Illustration of Covered Walkway and Interior Stairs.**

Figure 13.202.3
Standards for Access to Elevated Residences

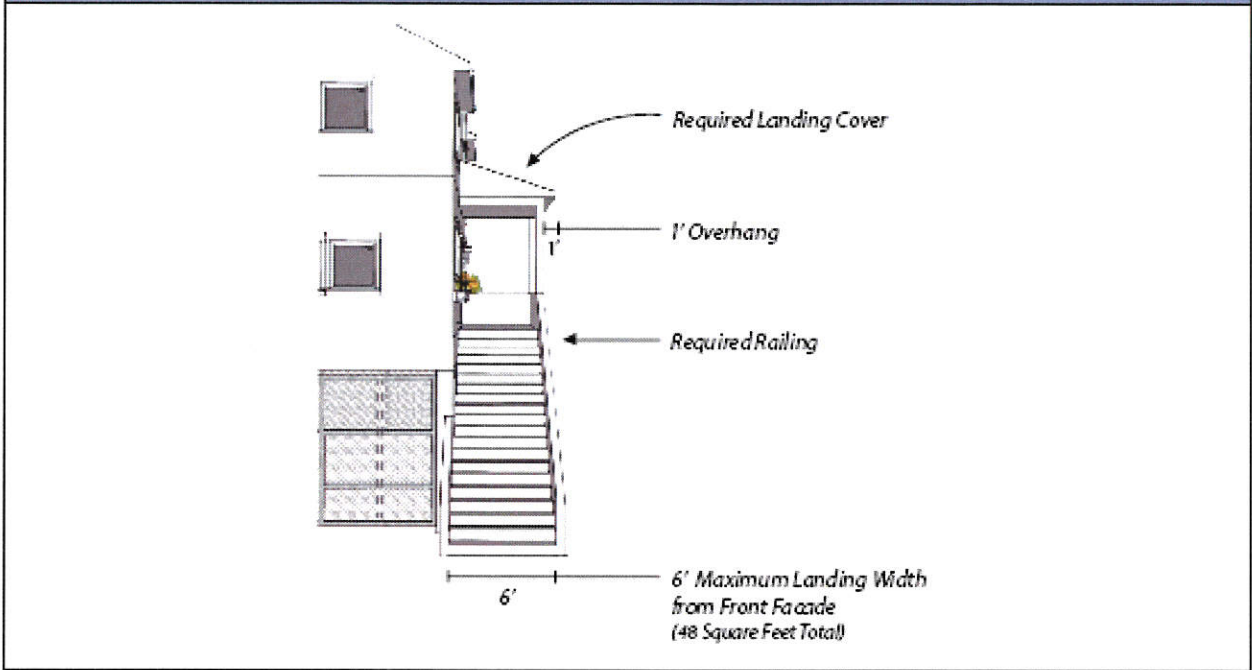
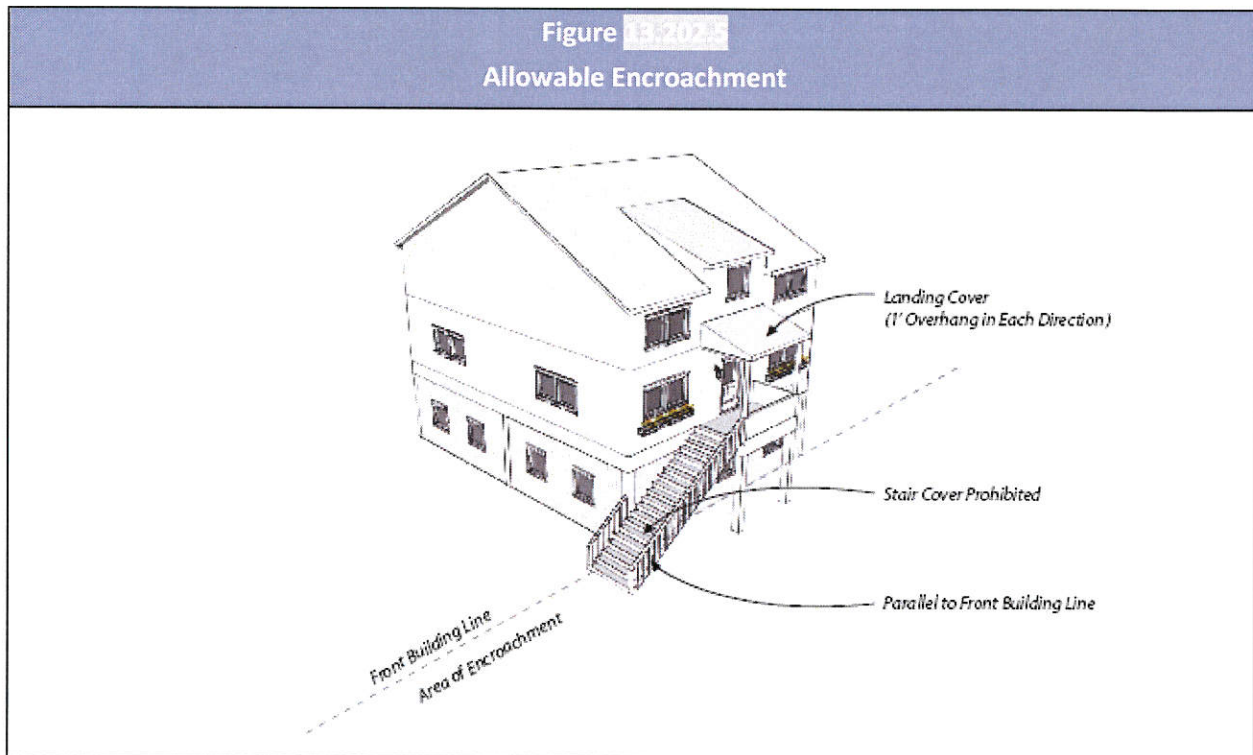


Figure 13.202.4
Illustration of Covered Walkway and Interior Stairs



- f. *Stair Cover*. That portion of stairs that encroaches into a required setback shall not be covered, unless required by the building code or ADA accessibility standards.

- g. *Elevators and Lifts.* Whether required or not required to meet Americans with Disabilities Act (ADA) accessibility requirements, elevators and lifts are permitted to serve elevated residences. Generally, the same dimensions that apply to stairs shall be applied to elevators and lifts. Similarly, in cases where there are inadequate dimensions to accommodate building code or ADA accessibility requirements or where there are impracticalities, the dimensions may be modified provided the modifications are the minimum necessary to meet the code requirements and to practically accommodate the elevator or lift and its mechanical systems, apparatus, and enclosures, as required. In instances of impracticality, applicants shall demonstrate maximum reasonable compliance with these standards.
- h. *Encroachment.* Provided the residence is elevated directly above its original foundation line, the landing and stairs may encroach into the required front setback a distance of no more than six feet, excluding the one foot overhang of the roof projection over the landing. If the residence can be set back from the original foundation line while maintaining the same size and dimensions of the original residence and also while meeting all other required setbacks, it shall be set back to the maximum extent practicable to accommodate the landing and stairs with the minimum necessary encroachment into the required setback. An encroachment necessitated by elevation shall not require a variance provided demonstration to the Director of the compliance with the standards and requirements of this Section. See **Figure 13.202.5, Allowable Encroachment.**



2. *Secondary Door(s).* Secondary doors are those that are in addition to the primary door, which may be on a front, side, or rear building elevation. Secondary doors shall either connect by way of a covered walkway to the landing and stairs of the primary door, have stairs to the ground

level that are within the foundation line, or have stairs to the ground level that are along a side or rear elevation and without encroaching into the required setbacks. See *Figure 13.202.4, Illustration of Covered Walkway and Interior Stairs*. In cases where there is inadequate dimensions to accommodate building code requirements or where there is impracticalities, these requirements may be modified provided the modifications are the minimum necessary to meet the code requirements and to practically accommodate access to the secondary door. In instances of impracticality, applicants shall demonstrate to the Director maximum reasonable compliance with these standards.

Sec. 13.203 Multifamily Design Standards

- A. **Generally.** All multifamily development shall meet the standards of this Section unless:
1. It is part of a vertically mixed use development in which case it shall be subject to *Article 13.3, Nonresidential and Mixed-Use Design Standards*; or
 2. It is located in District OT in which case it shall be subject to *Article 13.4, Special District Standards*.
- B. **Building Standards.**
1. *Exterior Siding Materials.* The exterior portions of any building shall comply with the following standards:
 - a. Siding material shall consist of a masonry material, including brick, stone, cast stone, synthetic stone, stucco, architectural concrete block, or cement siding. Siding material shall be consistent and uniform. Synthetic stone, such as pre-manufactured fiberglass, cultured stone, or glass-fiber reinforced concrete is permitted, provided it is identical in appearance and of equal or greater durability to natural stone.
 - b. Heavy masonry materials shall extend to grade and be located below lighter materials, e.g. stucco or cement siding.
 - c. A vertical change of materials shall occur at an interior corner or shall occur at an exterior corner or within four feet of an exterior corner. Horizontal changes of material from brick or stone to another material shall include a stone cap or a brick sill. Horizontal changes of materials using a stone cap or brick sill shall not have the cap or brick sill interrupted by window or door openings. In all other cases, the material above the brick or stone shall extend over the top edge of the masonry with trim or siding.
 - d. Masonry openings in a brick or stone façade shall have a stone lintel, a stone or brick arch, or a brick soldier course.
 - e. Siding shall be a minimum of 75 percent brick. Buildings with brick on the front facade only and buildings with first floor brick and second floor lap siding are prohibited.
 - f. Prohibited siding materials including External Insulating Finishing System ("EIFS"), metal or aluminum siding and trim, smooth-faced or stained cinder block, painted concrete block, plasticized materials, vinyl, rough-sawn wood, board and batten wood, tilt-up concrete panels, standard single or double tee concrete systems, and field-painted or pre-finished standard corrugated metal siding,.
 - g. All exposed bricks shall not be laid in a stack bond pattern. All joints shall be tooled. Brick panel veneer systems are permitted.

- h. The maximum allowable exposure of lap siding is eight inches.
 - i. Applied trim materials shall consist of brick, painted wood, vinyl, or other painted materials that exhibit wood-like properties. Metal, block stone, and concrete are prohibited. Wrought iron handrails are permitted.
 - j. Foundations shall not have greater than an eight-inch exposure or shall be faced in brick or stone veneer. Exposed block, stucco, and concrete are prohibited.
 - k. The rehabilitation or substantial improvement of existing buildings shall comply with these exterior siding materials requirements. Use of alternate exterior materials for the rehabilitation of existing buildings is subject to approval by the Zoning Commission.
2. *Exterior Colors.*
- a. Siding material other than brick or stone shall be tinted or painted in earth tones.
 - b. Roofs shall be black, a shade of gray, or earth tones.
 - c. Trim colors shall be earth tones.
3. *Roofs.*
- a. The main roof of all buildings shall be gabled, hipped, mansard, gambrel, or a combination thereof. Flat roofs, curving roofs, and shed roofs are prohibited. See **Figure 13.203.1, Roof Types**.
 - b. Pitched roofs shall have a minimum slope of six feet vertical rise for every 12 feet of horizontal run on the primary roof of the building.
 - c. Roof overhangs shall be of no less than eight inches and no more than 24 inches from the building facade.
 - d. Eave lines shall be consistent, largely unbroken, and horizontal. All eaves shall be architecturally detailed with one or more of the following elements: detail molding, crown molding, built-up fascia, or frieze board.
 - e. Roofs shall contain at least one roof projection for every 100 linear feet of building frontage. Roof projections may include cupolas, dormers, balustrade walks, chimneys, or gables.
 - f. Roofs shall be constructed of asphalt shingles or a material that resembles asphalt shingles (i.e. metal roofing; roofing that resembles shake shingles). Slate, clay, and concrete tile roofs are permissible.
 - g. No rooftop mechanical equipment or window/wall mounted air conditioning units shall be visible from the street level.
4. *Building Massing.*
- a. Plain, monolithic structures with long, monotonous and unbroken wall surfaces of 50 feet or more are prohibited. No less than every 50 linear feet, wall planes shall be offset at least four feet for which the offset should penetrate the roofline. See **Figure 13.203.2, Application of Building Design Standards**.
 - b. The maximum length of any building shall be 200 feet; carports and garages shall be a maximum of 120 feet. Any building that is longer than 100 feet shall provide no less than 10 linear feet of pedestrian arcade or covered porch and shall be designed to appear as multiple structures through the use of varied roof forms, building projections, vertical or horizontal offsets, or architectural details.

Figure 13.203.1
Roof Types

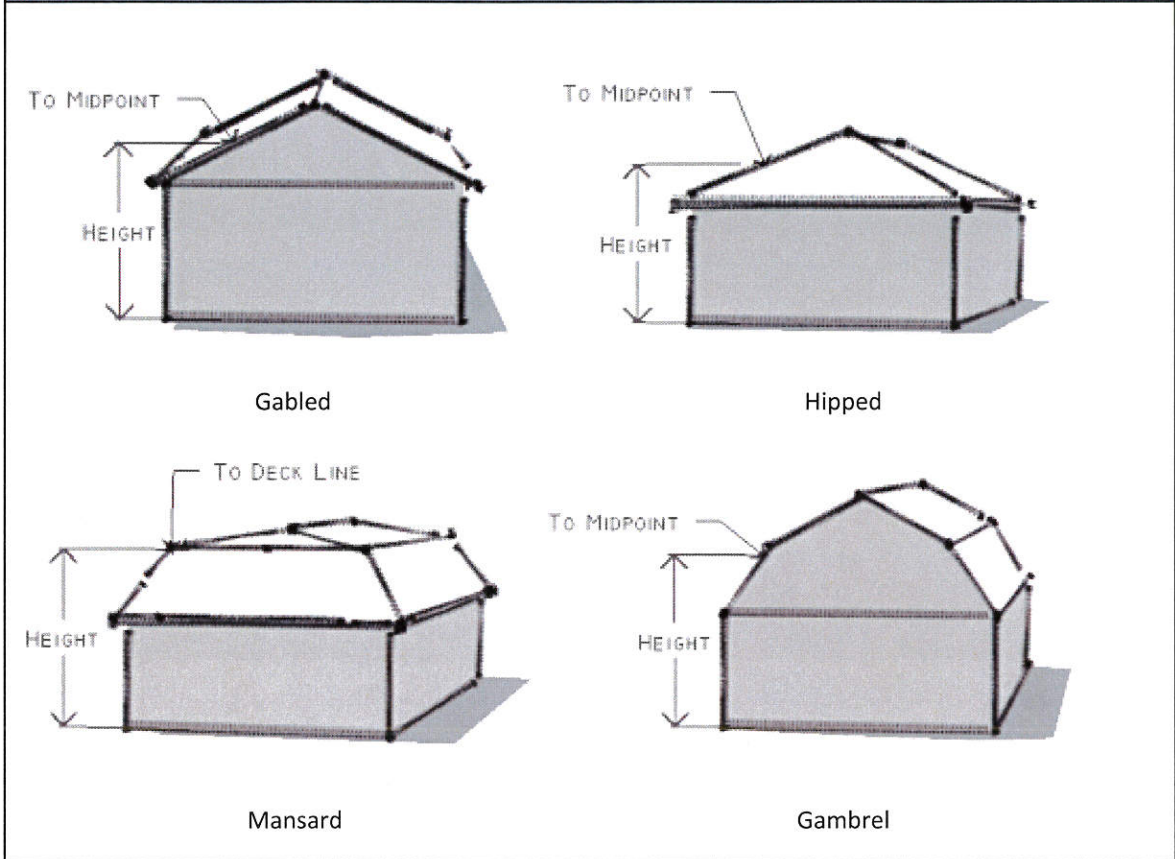
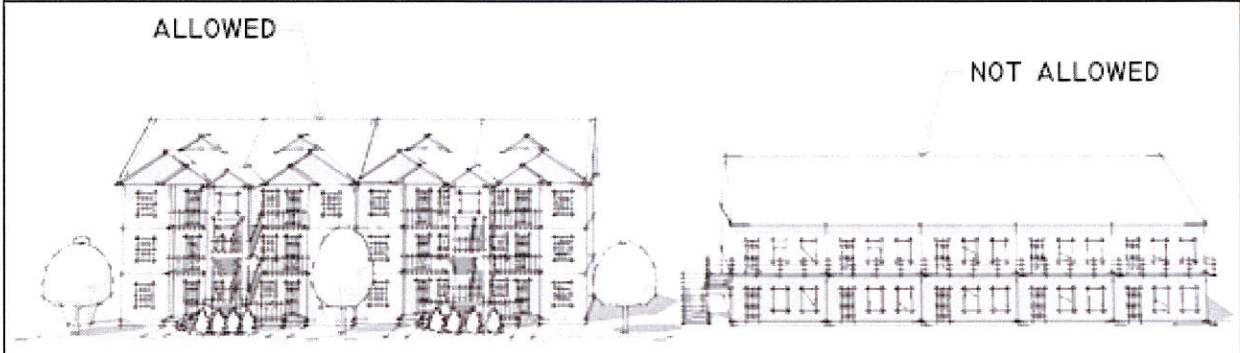


Figure 13.203.2
Application of Building Design Standards



- c. Any portion of a building closer than 50 feet from a common property line that abuts a residential district or an existing or new neighborhood shall be no higher than 12 feet above the highest point of the closest existing residential structures. This does not apply if the residential structure is located across a street from the development or if it is within the same development proposal.

- d. The apparent exterior floor-to-floor height of each story of a building shall be limited to 12 feet. Individual floors shall be delineated on the building facade through the use of window placement and horizontal details. Interior floor-to-floor heights may exceed 12 feet.
 - e. No primary eave line shall be greater than 35 feet above grade.
 - f. Buildings shall have at least one building projection for each 50 feet on the front facade below the eave line. Building projections consist of stoops, bay windows, covered porches, extruded entrances, and pedestrian arcades. With exception of pedestrian arcades, building projections shall not extend more than six feet from the face of the building.
 - g. Individual building walls shall be primarily rectilinear and simplified in form. With the exception of bay projections, curved walls or non-ninety-degree corners are prohibited. Front facades shall have a predominant plane from the ground to the eave and shall not be dominated by building projections.
 - h. Porches and arcade columns shall be not less than six feet wide in any direction. Metal columns are prohibited. Columns shall contain a base and a capital and shall generally align with story heights.
 - i. The building back shall not face public street right-of-way.
5. *Building Articulations*. Building walls shall include articulations, which shall include, but shall not be limited to, the following:
- a. Porch
 - b. Stoop
 - c. Balcony
 - d. Windows
 - e. Window casing
 - f. Window sill
 - g. Bay window
 - h. Doorway
 - i. Door trim
 - j. Cornice
 - k. Roof brackets
 - l. Lintels
 - m. Brick or masonry patterns
 - n. Coins
 - o. Columns
 - p. Pilasters
 - q. Piers
 - r. Row locks and sills
 - s. Soldier courses
 - t. Keystones
 - u. Shutters
 - v. Material patterning/elements

6. *Building Fronts and Entries.*

- a. A building shall have at least one building front. Each building façade classified as a building front shall contain at least one front door or front entrance. Front doors and front entrances shall be detailed as the obvious front entry to the building or dwelling unit.
- b. A front door shall be an entry, located on a building front that provides entry to the enclosed building space of an individual dwelling unit or the enclosed building corridor providing access to one or more dwelling units. A front door shall be detailed by an entry surround and/or columns supporting an arch, a roof, and/or a second-story porch.
- c. A front entrance shall be an entry, located on a building front that provides entry to an unenclosed building corridor providing access to one or more dwelling units. A front entrance shall be detailed by columns supporting an arch, a roof, and/or a second-story porch.

7. *Fenestration.*

- a. Windowed doors shall contain a solid border a minimum of six inches wide and shall also contain mullions or divided lights not exceeding six inches in any direction. Flat doors are prohibited.
 - b. Primary doors shall not exceed 42 inches in width and 84 inches in height. Oversized doors are prohibited.
 - c. Windows located on a building front shall be single-hung, double-hung, casement, awning, or fixed windows. A maximum of two different window types is allowed on each building front.
 - d. Glass shall be clear or tinted. Reflective glass is prohibited. Frosted glass shall be permitted only in appropriate applications, such as bathroom windows or locations where privacy is needed due to building spacing or nearby rights-of-way.
 - e. All windows shall be vertically proportioned with a height to width ratio between 3:2 and 5:2. Transom windows are not subject to vertical proportions and do not count in the overall window proportion. Slit windows, strip windows, and ribbon windows are prohibited.
 - f. Windows shall be provided on at least 10 percent but not more than 50 percent of the front facade. Blank facades are prohibited. Windows shall generally be spaced in an even rhythm. Windowless sections of the front facade shall not exceed 30 feet in width.
 - g. All windows shall be rectilinear, provided however, that arch top windows are permitted. Triangular or otherwise angular windows are prohibited. Round windows are permitted as accent windows in locations such as gables.
 - h. Primary windows shall be at least 24 inches wide and at least 36 inches tall. Picture windows shall be no wider than five feet and no taller than seven and one-half feet.
 - i. Shutters shall be constructed of wood, vinyl, or a material with wood-like properties, shall be sized to fit the window, and shall have horizontal slats, vertical boards, or raised-panels. Shutter colors shall be equal to or similar to earth tone colors.
 - j. On brick and non-brick walls, all windows shall have sill and header trim details.
 - k. The bottom of windows shall be at least 20 inches above grade.
8. *Materials and Trim.* The elevations of all buildings shall be treated so that they have a similar level of quality and architectural interest when viewed from any direction, street, side, or rear in terms of materials and trim. The design of buildings shall provide consistent architectural details

on all building walls. The majority of a building's architectural features and treatments shall not be restricted to a single façade.

9. *Utilities*. All utilities shall be placed underground. Furthermore, utility meters shall not be located on a building front or a façade facing public street rights-of-way, and if on a side façade shall be fully screened from public view.
10. *Lighting*. All lighting for multifamily developments shall adhere to the requirements and restrictions set out in *Article 11.5, Exterior Lighting Standards*. Additional requirements include:
 - a. All multifamily developments shall provide streetlights, parking lot lighting, pedestrian lighting, and indirect building lighting.
 - b. Streetlights shall be evenly spaced along public streets with a maximum spacing of 100 feet on-center.
 - c. Lighting shall be provided for all parking areas, which shall not exceed 15 feet in height and shall be placed uniformly so as to provide adequate lighting across the parking surface.
 - d. Lighting for pedestrians shall be provided for all high volume pedestrian areas, including building entries; along sidewalks, walkways, or paths; and around common open spaces.
 - e. Indirect building lighting shall be provided within no more than 10 feet of all buildings. Such lighting shall be designed and installed in a manner so as not to cause glow or glare in the windows of individual dwelling units.
 - f. Exterior fixtures with exposed bulbs are prohibited.
11. *Landscaping*. All landscaping for multifamily developments shall be in accordance with the standards and requirements of *Part 12, Landscaping and Buffering*. Additional requirements include:
 - a. A foundation planting area with a minimum width of five feet shall be provided continuously along building fronts and those facades that face a parking lot, driveway, or are visible from a public street. Such foundation planting area shall be permanently planted with trees spaced not more than each 15 feet and shrubs with a mature height of no less than three feet or more than four feet. Annual or perennial flowerbeds may account for up to 10 percent of the foundation planting area.
 - b. Trees shall be planted along all public or private streets, as well as all driveways and access drives. Trees with a minimum caliper of three inches and a minimum height of 10 feet at planting shall be spaced not more than each 20 feet.
 - c. All medians shall be landscaped with not less than one large tree and eight shrubs for each 180 square feet of landscape surface, or portion thereof. Groundcover shall be used on the rest of the landscape surface.
12. *Bufferyards*. All bufferyards shall be in accordance with the standards and requirements of *Section 12.3, Bufferyards*.
13. *Parking*. The required parking for multifamily developments shall be in accordance with the standards and requirements of *Part 10, Parking, Loading, Access, and Lighting*.
14. *Pedestrian Facilities and Amenities*. Pedestrian improvements in multifamily developments shall be in accordance with the standards and requirements of *Part 10, Streets, Sidewalks, and Utilities; Article 4.2, Supplemental Standards for All Uses; Article 4.3, Supplemental Standards for Residential Uses; and Article 10.4, Access Management and Circulation*. Additional requirements include:

- a. Walkways with a minimum width of five feet shall directly connect each front door or front entrance with surrounding sidewalks, walkways, or paths.
- b. All buildings shall provide a minimum 10 foot pedestrian zone between the building and parking area. The pedestrian zone shall contain walkways and landscape planting areas, plazas, and/or gardens. These areas shall also be protected from vehicular traffic by curbs, fencing, walls, wood posts, concrete bollards, or another barrier.
- c. In conjunction with each pedestrian zone and for each 10 dwelling units, or portion thereof, there shall be one bench or picnic table and one trash receptacle accessible by a sidewalk, walkway, or path that is located no more than 25 feet from a building entrance. Benches, tables, and trash receptacles shall be anchored to the ground, of an earth tone color, and shall not contain signs or advertising. Each shall be constructed of a non-corrosive, weather-resistant material, excluding wood. Single family attached and duplex dwellings are exempt from this requirement.
- d. All crossings of internal streets, access drives, and driveways shall have well-defined pavement markings and pedestrian crossing signs.
- e. Covered sidewalks or walkways that are part of or adjacent to a building may be used for outdoor seating and dining or as terraces and arcades, provided a minimum passable width of four feet.

15. *Signs.* Signs shall be in accordance with the standards and requirements of *Article 6, Signs.*

ARTICLE 13.3 NONRESIDENTIAL AND MIXED-USE DESIGN STANDARDS

Sec. 13.301 Purpose and Applicability

- A. **Purpose.** The purpose of these design standards is to ensure that nonresidential and vertically mixed-use development includes high-quality, well-designed buildings and sites that contribute to the character and sustainability of the community.
- B. **Applicability.**
 1. *Relationship to Other Standards.* The standards of this Section are in addition to all other standards of this UDC, unless the other standards specifically supersede them.
 2. *Relationship to Underlying Zoning Districts.* These standards do not affect the list of permitted, limited, or conditional uses allowed in the underlying zoning districts, as set out in *Section 2.3, Land Uses.*
 3. *Relationship to Development Types.* The standards are organized by development type, as follows:
 - a. *Single Use Sites.* A single use site includes an individually platted lot for which a single use and individual tenant occupy the site.
 - b. *Mixed-Use and Multi-Tenant Buildings or Centers.* A mixed-use or multi-tenant building or center includes more than one different use or several classifications of the same use, which may be within a common building or separate attached or unattached buildings and which are located on the same parcel or adjoining parcels that are planned, developed, owned, and/or managed as a unit.

4. *Relationship to Building Scale.* The standards are organized by building scale, as follows:
 - a. *Sites, Buildings, or Centers less than 12,000 square feet.* A single use site or a mixed-use or multi-tenant building or center with a gross floor area of less than 12,000 square feet shall comply with the provisions set out in *Section 13.302, Applicability to Development Types*.
 - b. *Sites, Buildings, or Centers greater than 12,000 square feet.* A single use site or a mixed-use or multi-tenant building or center with a gross floor area of greater than 12,000 square feet shall comply with the provisions set out in *Section 13.302, Applicability to Development Types*.
- C. **Exemptions.** Single and two-family dwellings that are used for residential occupancy and located in Districts NC, PB, GC, OT, MUC, and PBC are exempt from the standards of this Article.

Sec. 13.302 Applicability to Development Types

A. Sites, Buildings, or Centers less than 12,000 Square Feet.

1. *Requirements.* Single use sites are subject to the standards set out in the following Sections:
 - a. *Section 13.303, Façade Treatments, Subsection A, Single Use Sites;*
 - b. *Section 13.304, Exterior Wall Finishes;*
 - c. *Section 13.306, Mechanical Equipment and Meters;*
 - d. *Section 13.307, Service Bays; and*
 - e. *Section 13.308, Project Design and Materials Mock-Up.*
2. *Exemption.* Single use sites that are less than 12,000 square feet are exempt from the standards set out in *Section 13.305, Building Form and Design*.

B. Mixed-Use and Multi-Tenant Buildings or Centers that are greater than 12,000 Square Feet.

1. *Requirements.* Mixed-use and multi-tenant buildings or centers are subject to all standards set out in *Article 13.3, Nonresidential and Mixed Use Design Standards*.
2. *Exemptions.* Mixed-use and multi-tenant buildings or centers that are less than 12,000 square feet are exempt from the standards set out in *Section 13.303, Façade Treatments, Subsection A, Single Use Sites*.

Sec. 13.303 Façade Treatments

A. Single Use Sites.

1. *Elevations.* Elevations of building walls that are within direct public view shall have certain percentages of decorative façade surfaces as follows:
 - a. *Front Elevation.* The building elevation(s) fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.
 - b. *Side Elevation.* Decorative building materials are required on side elevations as follows:
 1. *Street Facing.* A side elevation fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 25 feet or 25 percent of the façade elevation, whichever is greater. The remaining portion of the façade elevation shall be screened with small trees that have a mature growth of no less than 15 feet in crown height,

which shall be spaced no more than eight feet apart and a continuous row of shrubs with a mature height of no less than three feet or more than four feet. These trees and shrubs shall be planted in a planting area that complies with *Table 12.203, Site Landscaping Requirements*.

2. *Abutting Parking Lot or Drive-Through*. A side elevation that abuts a drive-through lane or a parking lot with a parking module width of 40 feet or more of the same or an adjacent or abutting property shall be constructed of or faced with a decorative building material on 25 feet or 25 percent of the façade elevation, whichever is greater. Landscape screening along the remaining portion of the façade elevation shall be provided as set out in (1) above.
3. *Other Conditions*. All other side elevations may be constructed of or faced with non-decorative materials on 100 percent of the façade elevation. For these conditions, landscape screening along the façade elevation shall be provided as set out in (1) above.
- c. *Multiple Elevations*. Building elevations that are within direct public view from more than one public or private street rights-of-way shall be constructed of or faced with decorative building material on 100 percent of the façade elevation fronting on or most directly facing the street, roadway, or highway that is of the highest functional classification. In the case of two or more adjacent streets that are of the same functional classification, both building elevations that front on or most directly face these rights-of-way shall be constructed of or faced with decorative building material on 100 percent of the façade elevation.
- d. *Rear Elevation*. The building elevation facing the rear of the property may be constructed of or faced with non-decorative materials on 100 percent of the façade elevation, provided this elevation does not:
 1. front on or most directly face public or private street right-of-way or a street or access easement;
 2. abut a drive-through lane or a parking lot with a width of 60 feet or more of the same or an adjacent or abutting property.

If the rear elevation meets (a) or (b) above, it shall be constructed of or faced with a decorative building material on the greater of 25 feet or 25 percent of the rear façade elevation. In this case, landscape screening shall be provided along the remaining portion of the façade elevation as set out in (1) above.

2. *Decorative and Non-Decorative Building Materials*. Decorative and non-decorative building materials are as set out in *Section 13.304, Exterior Wall Finish Materials*.

B. Mixed-Use and Multi-Tenant Buildings or Centers.

1. *Elevations*. Elevations of building walls that are within direct public view shall have certain percentages of decorative façade surfaces as follows:
 - a. *Front Elevation*. The building elevation(s) fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.
 - b. *Side Elevation*. Decorative building materials are required on 100 percent of all side elevations, including temporary side walls.

- c. *Rear Elevation in Public View.* A rear elevation that is within direct public view from any public or private street rights-of-way or a parking lot or drive-through of the same or an adjacent or abutting property, such as an out-parcel, shall be constructed of or faced with decorative building materials on 100 percent of the façade elevation.
- d. *Other Rear Elevation.* The building elevation facing the rear of the property may be constructed of or faced with non-decorative materials on 50 percent of the façade elevation, provided this elevation does not:
 - 1. front on or most directly face public or private street right-of-way or a street or access easement;
 - 2. abut a drive-through lane or a parking lot with a width of 60 feet or more of the same or an adjacent or abutting property.
 If the rear elevation meets (a) or (b) above, it shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation.
- 2. *Decorative and Non-Decorative Building Materials.* Decorative and non-decorative building materials are as set out in *Section 13.304, Exterior Wall Finish Materials.*

Sec. 13.304 Exterior Wall Finish Materials

- A. **Decorative Building Materials.** The decorative materials used for building exterior finishes shall be proven high-quality, durable materials. These materials include:
 - 1. Brick, including thin brick;
 - 2. Stone, including cast stone;
 - 3. Portland cement stucco;
 - 4. Architectural masonry units including split face, weathered face, sandblasted face and ground face blocks;
 - 5. Glass fiber reinforced concrete;
 - 6. Fiber cement siding; and
 - 7. Glass.
- B. **Limited Materials.** Materials that may be permitted subject to the advanced approval of the Director, who may seek the approval of the Zoning Commission, include:
 - 1. Vinyl siding provided it is used on no more than 25 percent of a front or street-facing façade;
 - 2. Embossed or prefinished architectural metal panel (26+ gauge), which has an appearance of masonry, stucco, or any other appearance that is approved;
 - 3. Exterior Insulation and Finish Systems ("EIFS") used in the following ways:
 - a. To finish building accents (*e.g.*, columns or window trims); or
 - b. To finish building walls that are located on the side or rear of a building, provided that the EIFS material is installed at least 12 feet above grade.
 - 4. Glass curtains used for building window areas, but not occupying more than 60 percent of the ground floor facade or more than 40 percent of upper floor facades.
- C. **Non-Decorative Materials.**
 - 1. Vinyl siding; and
 - 2. Metal panel (26+ gauge), commonly known as R-Panels.

- D. **Prohibited Materials.** The use of the following building materials for exterior walls, siding, or cladding is prohibited in all districts except District LI, provided that in District LI, the building that incorporates these materials is located at least 150 feet from streets with a functional classification of arterial or higher, or if the building is closer than 150 feet to such streets, the elevation upon which the material is applied is not visible from abutting collector or arterial streets.
1. Prefabricated metal wall panels;
 2. Corrugated metal panel, except as approved by the Zoning Commission;
 3. Smooth-faced, unfinished concrete block;
 4. Metal siding;
 5. The use of the following for exterior walls, siding, or cladding is prohibited in all districts:
 - a. Plywood; and
 - b. Plastic.
- E. **Approval of Other Materials.** Other building materials may be used as predominant materials if it is demonstrated that they have comparable durability, impact resistance, and aesthetic quality as the materials permitted in this Section; and either:
1. They are part of a building that is designed to achieve a Leadership in Energy and Environmental Design ("LEED") certification, and the materials qualify for LEED points under both the "energy and atmosphere criteria" and the "materials and resources criteria" of the LEED checklists; or
 2. They are part of a building that is EPA certified as Designed to Earn the ENERGY STAR, and the materials substantially improve the energy efficiency of the building compared to materials that are permitted above; or
 3. They are pre-approved for use by the Zoning Commission.

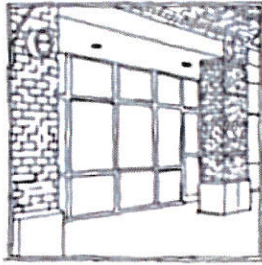
Sec. 13.305 Building Form and Design

A. Building Form.

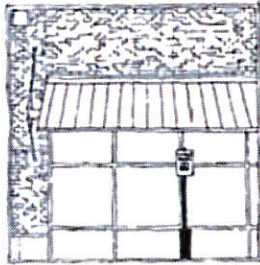
1. Buildings that cover more than 12,000 square feet, but less than 30,000 square feet in gross floor area shall have moderate changes in height or roof line, which can be accomplished by one or more of the following techniques:
 - a. Dormers with ridge lines that are three feet or more below the ridge line of the roof.
 - b. A compound roof shape, in which the highest ridge line and the lowest ridge line have a height difference of two to five feet.
 - c. Parapet walls that vary in height from two to four feet and which are designed of equal or greater height to screen from public view all rooftop mechanical equipment.
 - d. Towers that have a height that is four to six feet above the highest peak or ridge of the roof or highest point of the parapet.
2. Buildings that cover 30,000 square feet or more, but less than 60,000 square feet in gross floor area shall have major changes in height or roof line, which can be accomplished by one or more of the following techniques:
 - a. A compound roof shape, in which the highest ridge line and the lowest ridge line have a height difference of five or more feet; and/or

- b. Parapet walls that vary in height by more than four feet, are proportional to the building, and which are designed of equal or greater height to screen from public view all rooftop mechanical equipment; and/or
 - c. Towers that have a height that is more than six feet above the highest peak or ridge of the roof or highest point of the parapet. The mass of such towers shall be proportional to the building, so that the towers appear as substantial, but not overwhelming, architectural elements; and/or
 - d. Ground-level arcades and second floor galleries/balconies; and/or
 - e. Other features that reduce the apparent mass of a building.
3. Buildings that cover more than 60,000 square feet in gross floor area shall have major changes in height or roof line, which shall, in addition to the requirements for buildings that cover 30,000 square feet or more, include:
- a. Significant architectural features to identify principal entrances; and
 - b. Elements such as towers or significant projections from the building to break up the building mass.
- B. Architectural Detailing.** All buildings shall include architectural details that promote and are in harmony with the design vernacular including, but not limited to, those exhibits in [Figure 13.305.1, Architectural Detailing](#).
- C. Multi-Story Buildings.** Buildings with more than two stories shall be designed with a clearly differentiated base, middle, and top.
- 1. *Building Base.* A recognizable base shall include, but shall not be limited to:
 - a. Thicker walls, ledges, or sills.
 - b. Integrally textured, colored, or patterned materials such as stone or another approved masonry.
 - c. Raised planters, which are integral to the building façade.
 - 2. *Building Top.* A recognizable top shall include, but shall not be limited to:
 - a. Cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or another approved masonry or differently colored materials.
 - b. Sloping roofs with eaves and brackets.
- D. Building Dimensions.**
- 1. *Maximum Horizontal Dimension.* No building wall shall have an uninterrupted horizontal dimension of more than 80 feet for buildings with footprints 16,000 square feet and larger and no more than 40 percent of the facade length for buildings with footprints smaller than 16,000 square feet in area.

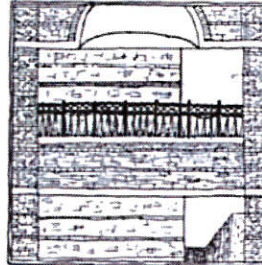
Figure 13.305.1
Architectural Detailing



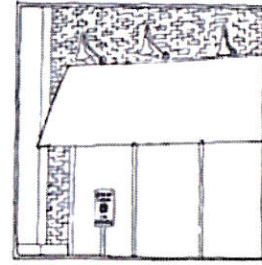
Arcade



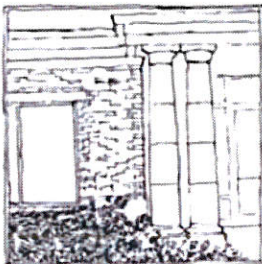
Awning



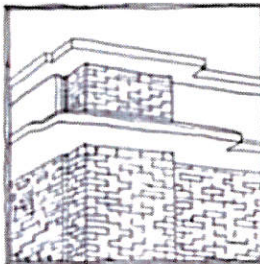
Balcony



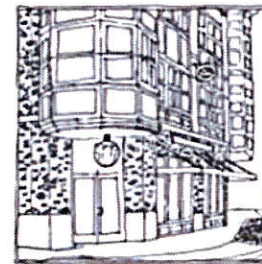
Canopy



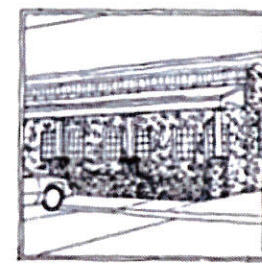
Columns



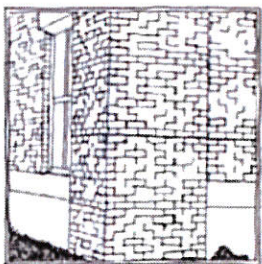
Cornice



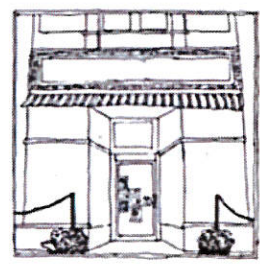
Oriel Window



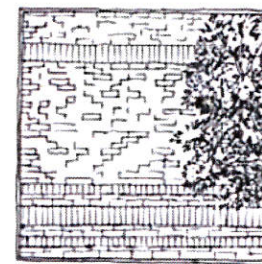
Porch



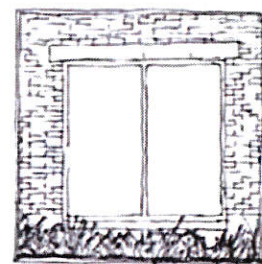
Quoining



Recessed Entry



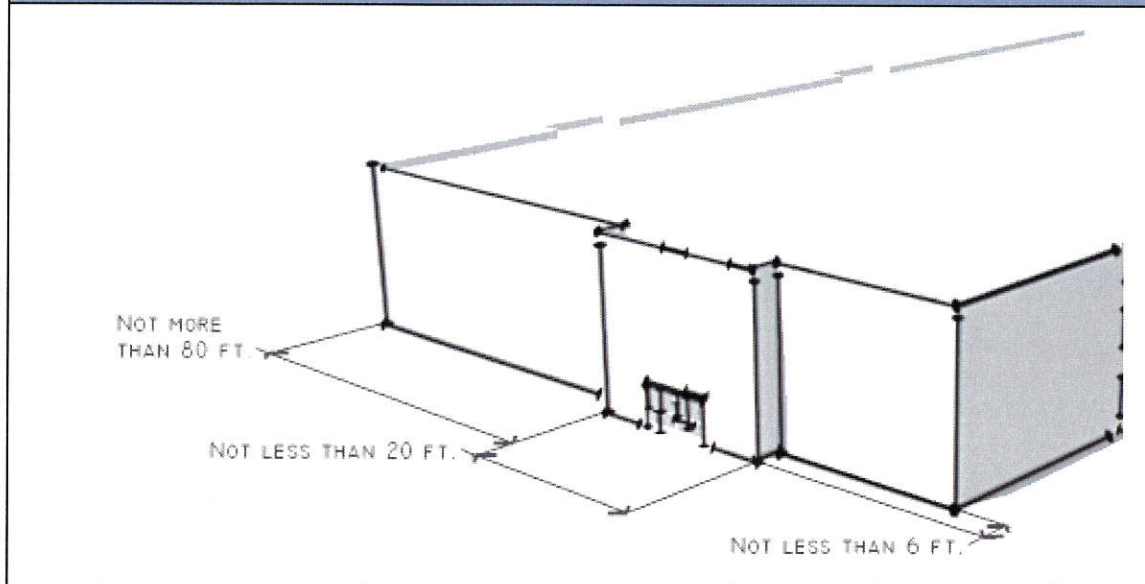
Stringcourse



Window Molding

2. *Required Offsets.* Building walls with a horizontal dimension of more than 80 feet shall have clearly pronounced projections or recesses of at least six feet, and at least two feet for buildings with a horizontal dimension of less than 80 feet, measured perpendicular to the vertical plane of the wall. These projections or recesses shall be spaced not more than 80 feet apart. Projections or recesses shall have a horizontal dimension parallel to the building wall from which the offset is measured of at least the lesser of:
- a. 20 feet; or
 - b. 20 percent of the building facade. See [Figure 13.305.2, Required Offsets](#).

Figure 13.305.2
Required Offsets



3. *Entryways.* Entryways to bays that are larger than 30,000 square feet shall project not less than six feet from the facade. This shall be represented by a change in the wall of the building and not only in a covered entry.

E. Roofing.

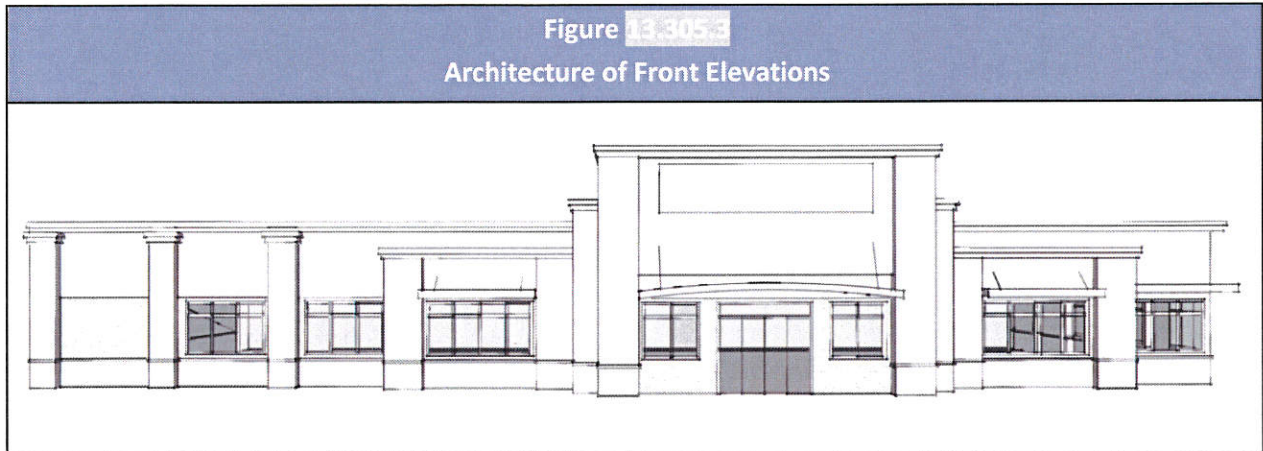
1. *Styles.* Flat roof and pitched roof systems are allowed, subject to the following standards:
 - a. Mansard roofs are not allowed.
 - b. Any material that is permitted by building code is allowed on flat roof systems.
 - c. Flat roof systems shall be hidden by parapet walls that are of equal or greater height to screen from public view all rooftop mechanical equipment.
2. *Approved Materials.* Roofing materials used on pitched roof systems shall be proven, high-quality, durable materials, including:
 - a. Architectural shingles;
 - b. Concrete tile;
 - c. Slate;
 - d. Architectural standing seam metal;
 - e. Building integrated photovoltaics (solar panels that double as roofing material);
 - f. Green roof systems (encouraged); or
 - g. Others approved by the Director and the Zoning Commission.
3. *Prohibited Materials.* Corrugated metal and other roofing materials that are not listed in (2) above are prohibited.

F. Elevations.

1. *Front Elevation.* The front elevation shall have:
 - a. Architectural features that animate the facade along its entire length spaced at intervals of not more than 12 feet in horizontal distance. These features shall include wall sconces, display windows, faux windows, brick patterning, entry areas, towers, pilasters, columns,

horizontal and vertical offsets, and/or other elements that create a pattern of light and shadow on the building wall. See **Figure 13.305.3, Architecture of Front Elevations.**

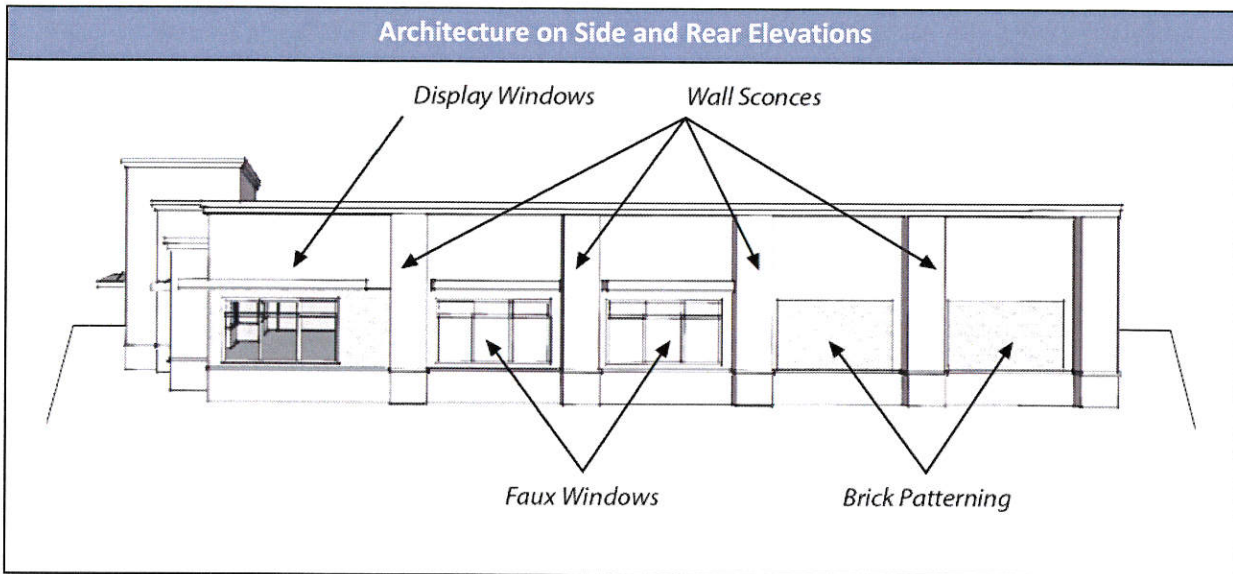
- b. Awnings, arcades, or overhangs that project at least six feet along not less than 80 percent of the facade for buildings with footprints of 12,000 square feet and larger, and shall connect to all building entrances along the facade.



2. *Side and Rear Elevations.* Side and rear elevations shall have:

- a. Architectural features that animate no less than 60 percent of the facade nearest the front elevation. These features shall:
 1. Include awnings, arcades, or overhangs that project at least six feet and connect to awnings, arcades, or overhangs on the front elevation; and
 2. Be spaced at intervals of not more than 12 feet in horizontal distance; and
 3. Include wall sconces, display windows, entry areas, towers, pilasters, columns, horizontal and vertical offsets, and other elements that create a pattern of light and shadow on the building wall. See **Figure 13.305.4, Architecture on Side and Rear Elevations.**
- b. No blank wall surfaces that extend for more than 30 feet in horizontal distance or 15 feet in vertical distance;
- c. Horizontal and vertical architectural interest and variety to avoid the effect of a single, blank, long or massive wall. This requirement may be met through the design and use of:
 1. Arcades;
 2. Arches;
 3. Awnings;
 4. Decorative cornices;
 5. Entryways;
 6. Patios;
 7. Pilasters or columns;
 8. Porticos;

Figure 13.305.4



9. Recesses/projections of no less than two feet of horizontal or vertical offset in the building wall;
 10. Towers;
 11. Windows;
 12. Changes in both finish materials and colors (a change in color alone is insufficient to meet this requirement);
 13. Comparable elements or design techniques that create an obvious and significant pattern of light and shadow on the building wall.
- G. **Transparency.** Front elevations shall be glazed and transparent along 50 percent of the pedestrian view plane, unless the Director determines that the required transparency is inconsistent with the operational requirements of the building. Glazing shall be considered to be transparent if it is 100 percent transparent from both the exterior and interior of the building.
- H. **Awnings and Canopies.** Awnings and canopies, if installed, shall meet the following standards:
1. *Construction.* Awnings and canopies shall be attached and integral to the principal structure.
 2. *Obstruction.* Awnings and canopies shall not completely obstruct any window. Transom windows may be located under awnings and canopies.
 3. *Support.* Canopies shall have columns, beams, and/or brackets of adequate size to give both structural and visible means for support.
 4. *Materials.* Awnings and canopies shall be constructed of durable, protective, and water repellant materials (e.g. cloth, fabric, canvas, glass, steel, standing seam metal, architectural metal, and/or perforated metal (not corrugated)). Vinyl and fiberglass awnings are prohibited.
 5. *Lighting.* Backlit or internal illuminated awnings or canopies are prohibited. Acceptable fixtures and methods of illumination include:
 - a. Recessed fixtures incorporating a lens cover that is either recessed or flush with the bottom surface (ceiling) of the canopy.

- b. Indirect lighting where light is beamed upward and then reflected down from the underside of the canopy. Indirect lighting fixtures shall be shielded such that direct illumination is focused exclusively on the underside of the canopy.
- 6. *Length.* Awnings/canopies shall be no longer than a single storefront.
- 7. *Color.* Awning/canopy colors shall be compatible with the overall color scheme of the façade from which it projects. Solid colors or subtle striped patterns are preferred.
- 8. *Projection.* Awnings/canopies are allowed to project to within two feet of the curb line.
- 9. *Clearance.* A minimum clearance of eight feet from finished grade to the bottom of the awning/canopy is required. Drive-under canopies shall not exceed 16 feet in height.
- 10. *Freestanding Canopies.* Freestanding or semi-freestanding canopies, such as those used as shelters for pump islands and porte-cocheres shall be of similar style, material, color, and lighting as those attached to the principal building.
- I. **Building Entrances.** Each building, regardless of size, shall have clearly-defined, highly-visible customer entrances that include at least three of the following architectural features:
 - 1. Canopies, porticos, arcades, or overhangs;
 - 2. Recesses or projections;
 - 3. Raised corniced parapets;
 - 4. Over the door or peaked roof forms;
 - 5. Arches;
 - 6. Outdoor patios or plazas;
 - 7. Display windows;
 - 8. Obviously differentiating architectural details such as moldings that are integrated into the building structure and design; and/or
 - 9. Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.

Sec. 13.306 Mechanical Equipment and Meters

- A. **Generally.** Mechanical equipment associated with building operations (*e.g.*, HVAC systems, electric meter banks, etc.) shall be screened as set out in this Section.
- B. **Ground-Level Equipment.** Mechanical equipment and meters shall be screened from public view by building wall extensions, opaque fencing, structural enclosure, or landscaping. Hedges and screen walls that are used to screen mechanical systems shall be maintained at a height that is at least one foot higher than the equipment. Wall extensions, opaque fencing, and structural enclosures shall use materials and colors that match or are consistent with the design and materials of the principal building.
- C. **Roof-Mounted Equipment.** Mechanical equipment shall be screened from ground level views from all adjacent property and rights-of-way by:
 - 1. Parapet walls, which shall include cornice treatments that are of adequate height to fully screen the equipment (a slope of 1 foot rise per 25 feet of run shall be used to determine if the wall is of adequate height); or
 - 2. Screening walls of adequate height to fully screen the equipment, which use materials and colors that match or are consistent with the design of the principal building; or

3. Sloped roof systems or other architectural elements of adequate height to fully screen the equipment from all adjacent property and rights-of-way.
- D. **Building-Mounted Equipment.** Mechanical equipment that is mounted on a building wall that is within public view shall be enclosed, screened by opaque fencing and landscaping, or painted to match the building façade.

Sec. 13.307 Service Bays

- A. **Generally.** Use types that have service bays with overhead doors shall be oriented and designed as set out in this Section.
- B. **Standards.** Overhead doors providing access to service bays shall be designed or screened as follows:
 1. Provided the size, shape and orientation of the site allows, a building wall with overhead doors shall be perpendicular to public or private street rights-of-way.
 2. Due to the size, shape, and orientation of the site and other functional considerations, overhead doors that front or most directly face public or private street right-of-way shall be painted to match the wall façade and shall include windows.

Sec. 13.308 Project Design and Materials Mock-Up

As part of the application and approval process for all projects subject to the standards of this Article, a scaled mock-up representing the building architecture, design, and materials shall be erected on the site of the project within five business days of application submittal. The mock-up shall include a laminated perspective rendering of the project and shall be constructed using and depicting the actual materials and colors of the project that is proposed for the site.

ARTICLE 13.4 SPECIAL DISTRICT STANDARDS

Sec. 13.401 Purpose and Applicability

- A. **Purpose.** The purpose of these standards is to ensure that development, redevelopment, and substantial improvements create high-quality neighborhood and pedestrian-friendly environments in Olde Towne (District OT) and along Fremaux Avenue (District NC).
- B. **Applicability.** These standards apply to all new development, redevelopment, substantial improvements, and expansion of nonresidential and mixed use buildings in District OT and District NC. The standards set out in *Article 13.3, Nonresidential and Mixed-Use Design Standards*, also apply within District OT and District NC, excluding the following Sections for District NC:
 1. *Section 13.303, Façade Treatments;*
 2. *Section 13.304, Exterior Wall Finish Materials;* and
 3. *Section 13.305, Building Form and Design.*
- C. **Exemptions.** Single and two-family dwellings that are used for residential occupancy and located in District OT and District NC are exempt from the standards set out in this Article.

Sec. 13.402 Design Standards for District NC

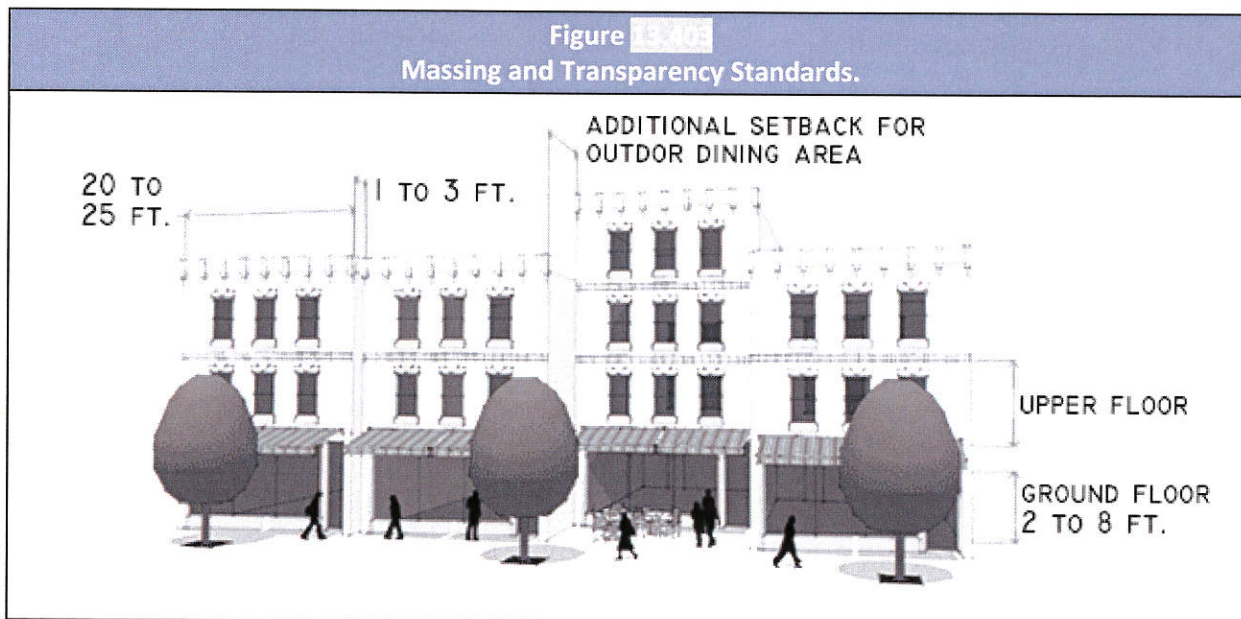
- A. **Applicability.** All new development, redevelopment, substantial reconstruction, and expansion of buildings shall be designed and conform to the standards of this Section.
- B. **Standards.** The standards are as follows:
1. *Construction.* All buildings shall be of wood or metal frame or masonry construction, or any combination thereof.
 2. *Roofing.* The main roof of all buildings shall be gabled, hipped, mansard, gambrel, or a combination thereof. Flat roofs, curving roofs, and shed roofs are prohibited. (See *Figure 13.203.1, Roof Types*) The roof pitch shall be no less than four inches of rise for each 12 inches of run.
 3. *Materials.* Buildings, including both principal and accessory buildings, shall be sided with wood siding, fiber cement siding, face brick, or with other materials that are pre-approved by the Zoning Commission. False facades are prohibited.
 4. *Corporate Architecture.* Logo buildings and logo building elements are prohibited.
 5. *Building Scale.* New or redeveloped, substantially reconstructed, or expanded buildings shall not exceed 15,000 square feet.
 6. *Lighting.* Lighting shall comply with *Article 11.5, Exterior Lighting Standards*.
 7. *Bufferyards.* Nonresidential structures shall include a Type B bufferyard that includes a six foot fence or wall.
 8. *Signage.* Signage shall comply with *Article 6, Signs*.

Sec. 13.403 Design Standards for District OT

- A. **Applicability.** All new development, redevelopment, substantial reconstruction, and expansion of buildings shall be designed and conform to the standards of this section.
- B. **Standards.** The standards are as follows:
1. *Façade Treatments.* Elevations of building walls that are within direct public view shall have certain percentages of decorative façade surfaces as set out for Mixed-Use and Multi-Tenant Buildings or Centers in *Section 13.303, Façade Treatments*.
 2. *Exterior Wall Finishes.* Exterior building finishes shall comply with the standards for decorative, non-decorative, limited, and prohibited materials set out in *Section 13.304, Exterior Wall Finishes*. Materials shall be reviewed for their historic context for which the following materials may be considered:
 - a. *Walls:* Wood, brick, and cement plaster (stucco).
 - b. *Roofing:* Wood shakes, slate/tile, rigid shingles with ridge tiles, metal (corrugated, V-crimp, and standing seam).
 3. *Height.* No building shall exceed 115 percent or be less than 85 percent of the average height of the buildings on the two nearest developed lots or buildings on either side of the subject lot or building.

4. *Building Form and Design*. Buildings with two or more stories shall be designed as those set out for multi-story buildings in *Section 13.305, Building Form and Design*.
5. *Roofing and Roof Lines*. Sloped roofs are not allowed unless the roof form is concealed by a parapet on all sides of the building. Rooflines shall mimic or complement the character or design of the rooflines of the two nearest developed lots or buildings on either side of the subject lot or building.
6. *Entrances*. Buildings must have a primary, passable entrance door facing the street, side-facing alley, plaza or courtyard that has a distinguishing feature, such as a canopy, awning, gallery, or portico. Entrances at building corners satisfy this requirement. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
7. *Recessed Entrances*. Recessed building entrances are subject to the following standards:
 - a. The entrance width may not exceed 12 feet;
 - b. The entrance depth may not exceed the entrance width; and
 - c. The entrance may not exceed two stories in height.
8. *Elevations*. Building wall elevations shall comply with the standards set out in *Section 13.305, Building Form and Design*. A consistent design vocabulary is required for multiple structures on one property. A unifying element such as material, color, or form shall be used for all structures.
9. *Building Design*. The following standards apply to the design of buildings:
 - a. Arcades, galleries, and roofs shall not appear to levitate in space, but shall have a visible means of support with columns and/or brackets. No overhangs in excess of three feet are allowed without a visible means of support. Rafter tails are encouraged on smaller overhangs.
 - b. Smaller buildings shall reflect the design elements of historic styles, and larger buildings shall be divided into smaller elements in order to incorporate historic design context.
 - c. Buildings should maintain classic proportions. For example, smaller columns should be placed closer together for a more vertical proportion, and as the structure becomes more horizontal in scale, the supports (columns) should have additional mass.
 - d. Building fascias may not exceed 16 inches in depth, including the gutter, except for fascias used as a unifying design element or for the placement of signage for multi-tenant buildings.
10. *Corporate Architecture*. Logo buildings and logo building elements are prohibited.
11. *Architectural Relief*. For all façades facing a right-of-way, the first two stories or first 28 feet above ground level shall use architectural detail to provide visual interest by incorporating a minimum of two design elements every 25 feet from the options exhibited in Figure 13.305, Architectural Detailing. Along all other façades not facing a right-of-way and not screened by another building located within 15 feet of the façade, there shall be at least two design elements as listed above for every 40 feet. These façades shall be similar and complementary to the primary entrance façade.
12. *Massing*. Buildings with a front facade greater than 80 feet in length shall be designed to appear as a group of attached buildings or otherwise given interest while maintaining a harmonious facade, as follows:

- a. The facade shall have a rhythm created by vertical elements with 25 foot on center spacing. The vertical elements shall be differentiated by building offsets of one to three feet. Additional offsets may be allowed to accommodate plazas for outdoor dining or public display.
 - b. The floors of buildings shall be aligned within one foot unless the slope conditions on the site require greater differences. The buildings shall articulate the floor levels with horizontal bands of different materials, offsets and shadow lines, changes in window treatments, or changes in material and color, or the inclusion of balconies or railings.
 - c. Articulation may include variations in roof or parapet height or design.
13. *Transparency.* Buildings shall comply with the following standards for transparency:
- a. At least 60 percent of the pedestrian view plane must be comprised of clear, non-reflective windows that allow views of indoor space or product display areas. On corner lots, this transparency requirement applies along the front elevation.
 - b. Display windows that do not provide views into the interior of the building may be counted toward satisfying up to 60 percent of the minimum transparency requirements, provided they are internally illuminated and are at least two feet in depth.
 - c. A minimum of 15 percent of the building façade’s area above the first floor shall consist of transparent material.
 - d. Tinted or reflective glass that blocks more than 40 percent of incident visible light is prohibited. See **Figure 13.403, Massing and Transparency Standards.**



14. *Colors.* Colors shall be reviewed for their historic context for which the following may be considered:
- a. *Façade colors shall be non-reflective and subtle.* The use of primary, high intensity, fluorescent, or metallic colors is prohibited (other than the sign face).

- b. Any activity that involves changing color or refreshing color shall be pre-approved by the Zoning Commission. Color samples shall be submitted for approval to the Director.
 - c. Metallic (except copper and silver metallic-colored roofs) and colors are prohibited on any façade or roof.
 - d. A scaled mock-up representing the building architecture, design, materials, and colors shall be erected on the site of the project as set out in *Section 13.308, Project Design and Materials Mock-Up*.
15. *Canopies and Awnings*. Canopies and awnings shall comply with the standards set out in *Section 13.305, Building Form and Design*.
16. *Landscaping*. Any area between the inside or interior of the sidewalk edge and the building façade and/or parking area not utilized as outdoor café seating is required to be 100 percent landscaped and irrigated. Eligible landscape/streetscape improvements shall include raised masonry planter boxes or planter pots, at-grade planting beds, seating benches, light features, decorative railings, masonry walls not exceeding three feet in height, decorative wrought iron fencing, additional pedestrian areas finished with brick pavers, or other elements proposed as part of the landscape plan. Live plant material must be included where feasible in each plan.
17. *Mechanical Equipment and Meters*. Ground-level and roof- or building-mounted mechanical equipment and meters shall comply with the standards set out in *Section 13.306, Mechanical Equipment and Meters*.
18. *Lighting*. Lighting shall comply with *Article 11.5, Exterior Lighting Standards*.
19. *Signage*. Signage shall comply with *Article 6, Signs*.

Sec. 13.404 Sidewalks, Plazas, Pedestrian Amenities, and Site Requirements

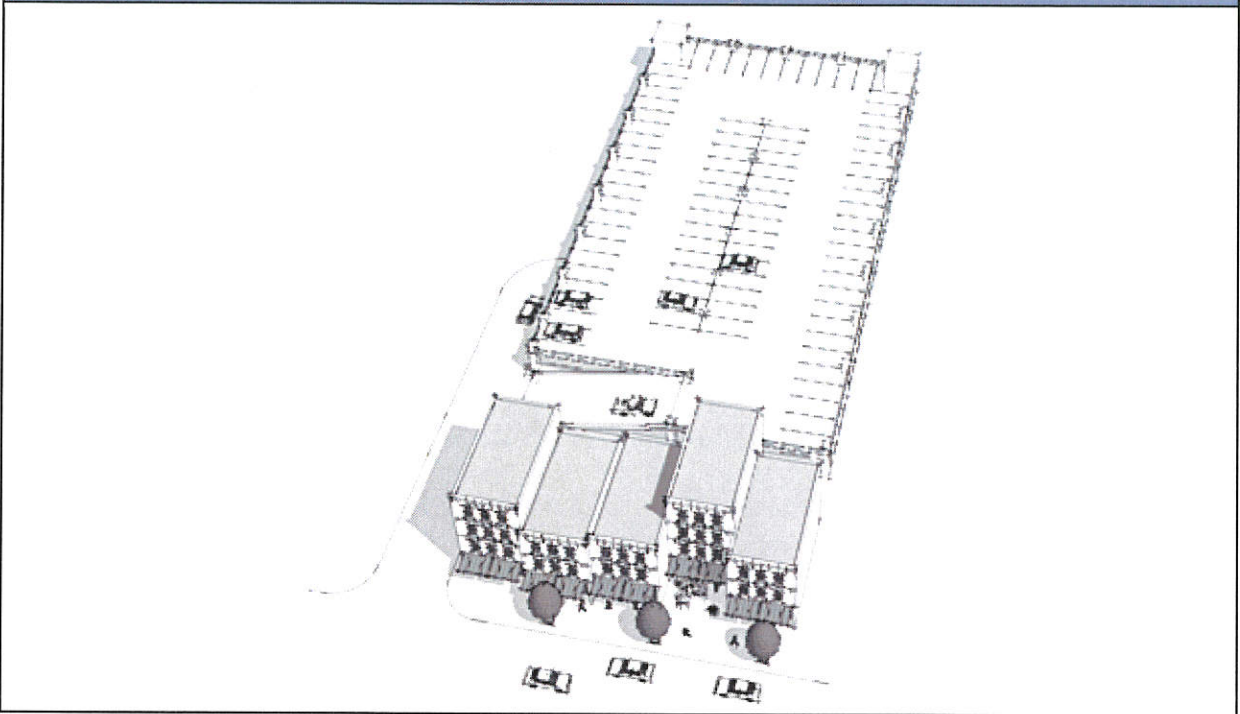
- A. **Generally**. The planning objective for District OT is for development and redevelopment to create a pedestrian-friendly, mixed-use environment in the City's traditional downtown area. Sidewalks, plazas, and other pedestrian amenities are important contributors to this objective.
- B. **Requirements**. The requirements are as follows:
- 1. *Sidewalks*. The following sidewalk improvements shall be provided for pedestrians:
 - a. Sidewalks of not less than eight feet in width parallel to the façade with a customer entrance and connecting to adjacent buildings and parking areas.
 - b. Sidewalks of not less than six feet in width connecting sidewalks in public rights-of-way to the sidewalk required by (a) above and where to the building entry when the requirements of (a) cannot be met.
 - c. Sidewalks that cross driving or other surfaces shall be clearly delineated with the use of special materials, e.g. textured or stamped concrete, brick or stone pavers, etc.
 - d. The Director may approve alternate locations and widths to eliminate encroachments of streetscaping materials that would reduce the clear space of the sidewalk to less than six feet.
 - e. A minimum of one sidewalk bench shall be provided for every 50 linear feet of building frontage along a right-of-way. In no case shall more than four sidewalk benches per building façade be required.

2. *Outdoor Spaces and Amenities.* Where provided, outdoor pedestrian spaces shall be visible and clearly accessible to the public. Plazas, courtyards, greens, and other pedestrian areas shall include landscaping and pedestrian-scale lighting. The following are encouraged:
 - a. Public art, benches with backs, low seating walls, or other pedestrian amenities and site furnishings; and
 - b. Use of brick, paver brick, stone, color-textured or stamped concrete to reinforce the character of Olde Towne.
3. *Outside Display of Merchandise.* The following standards are in lieu of *Section 4.401, Outdoor Display of Merchandise.*
 - a. Temporary or portable buildings of any kind are prohibited except during construction of site-planned facilities.
 - b. Outside sales/outside display areas shall be located within five feet of a required entrance façade and shall only be located in front of the property/business that is selling item(s). A four-foot minimum clear space on sidewalks shall be maintained.
 - c. All merchandise and/or seasonal items used for outside sales or display shall be moved indoors at the end of business each day.

Sec. 13.405 Parking Lots and Parking Garages

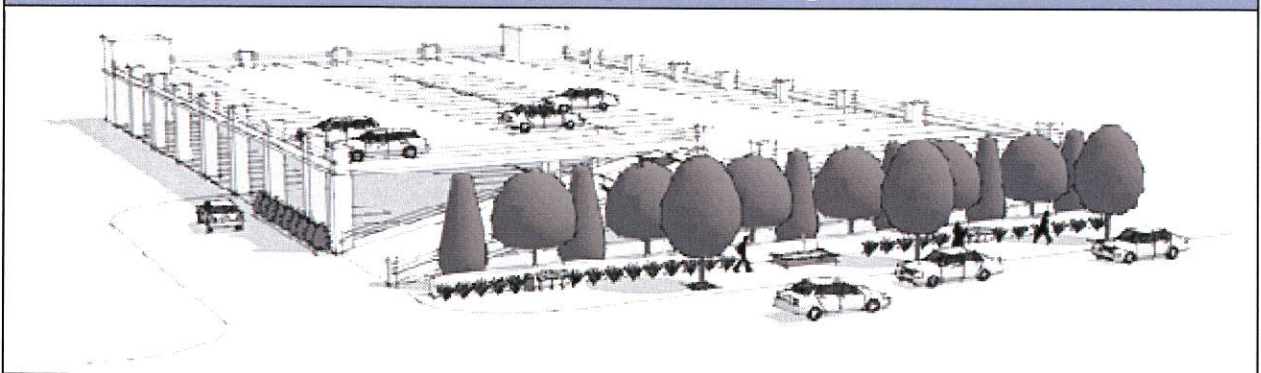
- A. **Generally.** In District OT, parking lots and parking garages shall be designed and located according to the standards of this Section. These standards are applied in addition to the standards that are set out in *Part 11, Parking, Loading, Access, and Lighting.*
- B. **Parking Lots.** Surface parking lots shall be located:
 1. Behind buildings; or
 2. Behind a streetscape buffer that complies with *Section 11.305, Bufferyards for Parking Lots and Vehicular Use Areas*, which incorporates:
 - a. A landscaped masonry wall with a minimum height of three feet; and
 - b. Street furniture (or benches incorporated into the wall), spaced at intervals of not more than 50 feet.
- C. **Parking Garages.**
 1. The perception of the bulk (or mass) of a parking garage as seen from the street shall be minimized by orienting the garage so that its short dimension is along the edge of the street with the highest functional classification upon which the lot fronts.
 2. The parking garage shall provide retail or other appropriate uses at the ground level and/or along no less than 60 percent of the linear frontage abutting a street, parking area, or open space. Alternatively, the parking garage shall be located behind the principal building (see **Figure 13.405.1, Parking Garage with Building Frontage**).
 3. Any remaining portions of the façade not devoted to retail or other appropriate uses shall incorporate one or more of the following devices to screen the view of parked cars:
 - a. Ornamental grillwork (plain vertical or horizontal bars are not acceptable);
 - b. Decorative artwork, such as metal panels, murals, and mosaics; and/or
 - c. Display windows for use by nearby merchants.

Figure 13.405.1
Parking Garage with Building Frontage



4. Vehicular entrances shall be designed to incorporate architectural elements that frame the opening, such as an arch, lintels, pilasters, masonry trim, planters, or ornamental lighting.
5. Where the dimensions of the parcel proposed for development do not accommodate building frontage as set out above, parking structures and vehicle entrances shall be designed to minimize views into the garage from surrounding and adjacent properties, streets, and sidewalks. Methods to help minimize such views may include, but are not limited to landscaping, planters masonry walls up to 42 inches in height, and decorative grilles and screens. The frontage along the garage shall include street furniture at intervals of not more than 40 feet. See **Figure 13.405.2, Parking Garage with Screening**.

Figure 13.405.2
Parking Garage with Screening



6. Parking structures shall be architecturally consistent with exterior architectural elements of the principal structure or adjacent traditional buildings, including rooflines, façade design, articulation, modulation and finish materials.
7. Parking structure facades shall have brick cladding or a combination of brick and other masonry and have regularly spaced square or rectangular openings.
8. Security grilles for parking structures shall be architecturally consistent with and integrated with the overall design. Chain link fencing is not permitted for parking structure fencing.

MEMO TO: Mayor's Office
Slidell City Counsel
DATE: January 29, 2013
PAGE: -3-

Ms. Hilts made a motion as was seconded by Dr. Johnson and with no discussion from the Commission, a vote of 6-0-0-1, postponed this request.

AMENDMENT TO SECTIONS 2.16A AND 2.16 POSTPONED.

- 2) **AMENDMENT** – An ordinance amending the City of Slidell Code of Ordinances, Appendix A-Zoning, Part 2. Supplementary District Regulations Adopted, Section 2.2216, **Building Materials**, and Part 9, Definitions, and Appendix B – Subdivision Regulations, Part 3. Standards of Design, in its entirety with Part 13 Design Standards as proposed for the new Unified Development Code. These Design Standards will remain in effect until such time the City of Slidell Unified Development Code, in its entirety to include said Part 13 Design Standards, is enacted and made ~~effective~~effective.

Chairman McDonald introduced the second item for public hearing. With no one from the public wishing to speak, Mr. McDonald asked the Commission for a motion. Mr. Reardon made a motion to provide a favorable recommendation to City Council as was seconded by Mr. Pichon. Mr. McDonald opened the floor for discussion.

Mr. Reardon asked Planning Staff regarding page 15, item E which indicates concrete block as an approved material to enclose ground floor areas on raised homes. Ms. Hunter, Planning Director, stated that when there are elevated structures, Flood Plain Ordinance takes precedence which requires flood vents every so many feet. These vents allow water to pass through the underside of an elevated structure. Mr. Reardon stated his understanding was that the underside enclosures had to be pores. Mr. McDonald stated that the concrete walls were break away walls. Commission Secretary stated that it was her understanding that the concrete block had no connectivity to the structure and was used without rebar.

With no further discussion, Chairman McDonald asked for a vote on the motion made by Mr. Reardon to provide a favorable recommendation as was seconded by Mr. Pichon. A vote of 6-0-0-1 approved the motion.

 **AMENDMENT REQUEST FORWARDED TO CITY COUNCIL WITH A FAVORABLE RECOMMENDATION.**

- 3) **ANNEXATION – AMENDMENT:** Annexation (A12-05) and Rezoning (Z12-07) request by Ms. Daisy Gaines of Parcel B-1 located at 1570 Shortcut Highway, more particularly identified on a subdivision map by J.V. Burkes of Parcel B and a 0.83 acre parcel into Parcel B-1 and Parcel C, Section 11, Township 9 South, Range 14 East, containing a total of 2.392 acres, City of Slidell, St. Tammany Parish, from Parish Zoning District NC-1 (Professional Office) to City Zoning District ~~C-2 (Neighborhood Commercial)~~ C-1 (Fremaux Avenue Business Corridor).

permit shall supply all successive owners, all managers, occupants, and operators of the special use on the property or the property itself with a copy of the permit authorizing the special use and all related requirements and regulations. Such successive owners, managers, occupants and operators shall forward to the director of planning written acknowledgment that they have read the ordinance and related requirements and regulations and agree to comply herewith.



2.2216 Building materials. All elevations of all buildings in all commercially zoned districts must have an exterior facade surface material of brick, stone, architectural block, stucco, glass, wood, fiber-cement siding and/or vinyl siding, or any approved combination thereof. Vinyl siding is permitted for no more than 25 percent on the total exterior walls. The architectural surface material must also be included on all building elevations whether facing a street or interior lot line. Architectural metal panel systems must be approved by the planning department. Standard metal building panels are not permitted.

2.2217 Design guidelines for Olde Towne and Fremaux Corridor.

III *Design Guidelines.*

- 1. *Building design elements:*
 - a. *Compatibility with the environment:*
Buildings shall ex-

hibit the ability to provide protection from rain, sun, and high humidity.

- b. *Entrances:* Each principal building shall have a clearly defined, inviting, highly visible customer entrance enhanced with distinguishing features such as canopies, galleries, and porticos.
- c. Facades of buildings visible to the public shall maintain the same standard of design as the front facade, including:
 - i. Screening of utilities, equipment, and building services.
 - ii. Continuation of building design elements such as quality of materials, galleries, cornices, and treatment of openings.
- d. Disruption of horizontal plains with vertical elements are required. This may include significant interruption by change in plain, material, opening, or design element, such as a tower or gable.
- e. Disciplined visible structural vocabulary must be maintained. Arcades, galleries, and roofs shall not appear to levitate in

(4) To perform a massage for the purpose of providing sexual stimulation or sexual gratification to the customer.

9.2g *Escort agency:* A person or business association who, whether on or off the licensed premises, furnishes, offers to furnish, or advertises to furnish escorts, as defined herein, for compensation.

9.3 *Agriculture:* A farm of ten acres or more for the production of crops and livestock including greenhouse and nurseries for the raising of plants and sale of farm products raised on the premises but shall not be construed to mean the commercial processing of farm products such as slaughterhouses, canning plants, feed mills, etc.



9.4 *Board* means the board of adjustment established in part 7.

9.4a *Boat:* A vehicle for traveling in or on the water, not exceeding 32 feet in body length, eight feet in width, or 12 feet in overall height from ground level. If the boat is mounted on a trailer, height limit also includes the trailer.

9.5 *Building:* Any structure designed or built or used for the support, enclosure, shelter or protection of persons, animals, chattels or property of any kind.

9.5a *Business complex:* A commercial development containing one or more tenants sharing common access, parking, or other amenities. In such circumstances, where a commercial development shares common access, parking, etc., the following guidelines shall be utilized to determine

2.233 *Street, minor* means a street which is used primarily for access to the abutting properties.

2.234 *Street right-of-way* means that area dedicated to public use for streets, walks, drainage, and utility servitudes, etc., between front property lines.

2.235 *Structure* means anything constructed or erected, the use of which requires more or less permanent or semipermanent location on the ground or the attachment to something having a permanent location on the ground. This includes, but is not limited to, buildings, gasoline pumps, advertising signs, billboards, fences, vending machines, radio and TV towers, mobile homes and sheds. It excludes vehicles, sidewalks, streets, driveways, parking areas and patios.

2.236 *Subdivider* means any person, firm, partnership, corporation or other entity, acting as a unit, subdividing or proposing to subdivide land as herein defined.

2.237 *Subdivision* means:

- (1) The division of a lot, tract or parcel of land into two or more lots, plats, sites, or other divisions of land for the purpose of sale or building development whether immediate or future for purpose other than agriculture;
- (2) The dedication granting a street, alley, or servitude through a tract of land regardless of area;
- (3) The resubdivision of land previously divided or platted into lots, sites, or parcels.

2.238 *Utility* means a commodity or service which is of public consequence and need such as electricity, gas,

sewer, water, transportation, television cables, telephone or telegraph service.

2.239 *Variance* means a modification from the provisions of this regulation by the Slidell planning commission in cases when enforcement of its provisions would result in unnecessary hardship.

(Ord. No. 1061, 2-14-1978; Ord. No. 1065, 5-23-1978; Ord. No. 1679, 3-27-1984; Ord. No. 1748, 8-28-1984)

PART 3. STANDARDS OF DESIGN



Section 3.1. Lots.

3.101 *General.* The minimum width of lots and minimum area shall conform with the zoning ordinance.

3.102 *Minimum size.*

- (1) The lot size, width, shape, depth, and orientation shall be appropriate for the type of development contemplated.
- (2) Residential lots shall comply with regulations as stated in the zoning ordinance, but in no case shall they be less than 60 feet wide at the building at back line nor less than 7,200 square feet in area, unless a lot of record before the adoption of the zoning ordinance.
- (3) Size of properties reserved or laid out for commercial or industrial properties shall be adequate to provide for the off-street service and parking facilities required by the type and use of development contemplated. Platting of individual lots should be avoided in favor of an overall design of the land to be used for such purposes.

3.103 *Adequate building sites.* Each lot shall contain a building site of at least