



City of Slidell, Louisiana
Planning Commission
Agenda



SCAN ME
for the
PC website

September 21, 2026 at 7:00pm

Council Chambers, 2045 2nd St, Slidell, LA

Agenda packet available at myslidell.com/planning/boards/pz

For questions or to provide public comment before the meeting,
email PZ@cityofslidell.org or call (985) 646-4320 (M-F 8am to 4:30pm)

- Please silence all phones and electronic devices.
- For all Appeals, fees apply per Appendix F of the City of Slidell Municipal Code.
- All Speakers must sign in at the podium before speaking on any issue.
- Public Speaking – 5 minutes is allowed per each side and 3 minutes for additional comments.
- Please exit the building immediately after the conclusion of the meeting.

1. **Call to Order and Roll Call**

2. **Pledge of Allegiance**

3. **Minutes.** Approve minutes from August 17, 2026

4. **Public Hearing**

- AZ2026-0006:** A request to annex into the City of Slidell property located at 500 Edgewood Drive; identified as a part of Fairview Drive in Woodland Park Subdivision, containing 0.135 acres (Parcel 144189), and establish City zoning classification as R3 High Density Residential.
- AZ2026-0007:** A request to annex into the City of Slidell property located at 456 Edgewood Drive; identified as Lots 32 and 33, Square 1, Woodland Park Subdivision, containing 0.13 acres (Parcel 108889), and establish City zoning classification as R3 High Density Residential.
- AZ2026-0008:** A request to annex into the City of Slidell property located at 450 Edgewood Drive, identified as Lot 30A, Square 1, Woodland Park Subdivision containing 0.14 acres (Parcel 106506); and establish City zoning classification as R3 High Density Residential
- DEXCP 2026-0005:** A request for a design exception to the design standards of the Unified Development Code for a proposed tilt-wall concrete warehouse and distribution building (252,720 sq ft) on a 15.25 ac new parcel at 1951 Town Center Parkway.
- DEXCP 2026-0006:** A request for a design exception to the design standards of the Unified Development Code for a proposed Retail Store at 1350 Town Center Parkway (Parcel 86153).
- DEXCP 2026-0007:** A request for a design exception to the design standards of the Unified Development Code for a proposed tilt-wall concrete warehouse and distribution building (252,720 sq ft) on a 22.778 ac new parcel at 1701 Town Center Parkway.

5. Other Business

- a. **SUBD2026-0032:** A request for a Plat to subdivide Parcel 12 in Fremaux Town Center Subdivision into Parcels 12A (0.611 ac) and 12B (0.479 ac) located along a private drive (Levis Lane) and north of the W-14 Canal within the Fremaux Town Center
- b. **SUBD2026-0033:** A request for a Plat to subdivide Tract 1B-1 in Bayer Subdivision into Tracts 1B-1A (1.404 ac), 1B-1B (13.531), 1B-1C (4.174 ac), and 1B-1D (0.417 ac), located east of Town Center Pkwy, south of Levis Lane and north of the W-14 Canal within the Fremaux Town Center.
- c. **SUBD2026-0036:** A request for a Plat to subdivide Tract 1B-1B and Parcel 12B in Fremaux Town Center Subdivision into Tract 1B-1B-1 (14.04 ac), in Fremaux Town Center Subdivision, east of Town Center Pkwy, south of Levis Lane, and north of the W-14 Canal, within the Fremaux Town Center.

6. General and Public Comments

7. Adjournment

The next Planning Commission meeting will be October 19, 2026.



City of Slidell, Louisiana
Planning Commission
Minutes

August 17, 2026 @ 7:00 p.m.

Council Chambers, 2045 2nd Street, Slidell, LA

1. Call to Order and Roll Call. Meeting called to order by Chair Green at 7:03 p.m.

Commissioners Present

Gayle Green, Chair
Chad Duffaut, Jr.
Sandy Hicks
Michael Newton

Commissioners Not Present

Richard Reardon, Vice Chair

Staff Present

Daniel McElmurray, Planning Director
Erica Smith, Planning Secretary

2. Pledge of Allegiance

3. Minutes. Motion by Commissioner Hicks to approve minutes of July 20, 2026 as written; Commissioner Duffaut seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved the minutes.

4. Public Hearing

- a. **AZ2026-0004:** A request to annex property into the City of Slidell that parcel of land containing 2.12 acres addressed as 2081 Gause Blvd East, located at the southeast corner of Pearl Acres Road, identified as Lot 1A Square 24 Pearl Acres Subdivision; and, establishing the City zoning classification as CC Corridor Commercial.

Introduced by Chair Green. Director McElmurray addressed the Commission, answered questions and recommended approval. No one from the public wished to speak. Commissioner Duffaut made a motion to approve **AZ2026-0004**. Commissioner Hicks seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **AZ2026-0004**.

- b. **AZ2026-0005:** A request to annex property into the City of Slidell that 54.58 acre parcel of land addressed as 39200 Highway 190 East on the southeast corner of Hwy 190 East at Brookter Street; located in Section 13, T9S, R14E; and, establish City zoning classification as CC Commercial Corridor.

Introduced by Chair Green. Director McElmurray addressed the Commission, answered questions and recommended approval. Mr. Paul Mayronne, owner representative was present to answer questions by the Commission. Commissioner Hicks made a motion to approve **AZ2026-0005**. Commissioner Duffaut seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **AZ2026-0005**.

5. Other Business

- a. **SUBD2026-0030:** A request for a resubdivision of property at 1353 11th Street, 834 Florida Avenue, and 842 Florida Avenue totaling 1.64 acres into two lots of record to be identified as Lots 22A and 26A, Square 48, Brugier Addition, Section 10, T9S, R14E, Greensburg Land District, City of Slidell, St Tammany Parish, Louisiana

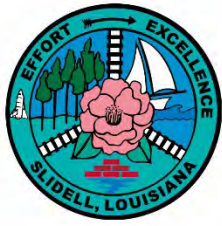
Introduced by Chair Green. Director McElmurray addressed the Commission and informed them that the original request was slightly modified due to negotiations between Slidell Memorial

Hospital and the residents of Brugier. Director McElmurray also answered questions and recommended approval. One Brugier resident addressed the Commission in support of the subdivision with the agreed upon modifications. The resubdivision cannot be recorded until passage of the rezoning request (Z2026-0002) by City Council on September 8, 2026. Commissioner Duffaut made a motion to approve **SUBD2026-0030** and forward to City Council with a favorable recommendation. Commissioner Newton seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **SUBD2026-0030**.

- c. **SUBD2026-0031:** A request for a resubdivision of Tract 3-B-2, 3-B-3, and Tract 3-A, into Tract 3-A-1, located at 2055 Town Center Pkwy, in Fremaux Subdivision, Section 14, T9S, R14E, City of Slidell, St Tammany Parish, Louisiana.

Introduced by Chair Green. Director McElmurray addressed the Commission, answered questions and recommended approval. Mr. Mark Salvetti of Stirling Properties was present to answer questions by the Commission. Commissioner Hicks made a motion to approve **SUBD2026-0031**. Commissioner Duffaut seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **SUBD2026-0031**.

- 6. **General and Public Comments.** Director McElmurray informed the Commission that there are several resubdivisions coming up for future meetings and there was discussion.
- 7. **Adjournment.** Meeting adjourned at 7:30 p.m. on a motion by Commissioner Duffaut, seconded by Commissioner Hicks, and a vote of 4 YAYS, 0 NAYS, 0 ABSTAIN.



Planning Department

STAFF REPORT

Case No. AZ 2026-0006

Annexation of that parcel of land identified as Tax Parcel 144189
containing .11 acres addressed as
500 Edgewood Drive

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: Tax Parcel 144189 in Woodland Park Subdivision, Edgewood Drive at Fairview Drive (**Figure 1**)

Petitioner(s): Jeff Vallee, authorized representative of H South LLC

Future Land Use: Residential (**Figure 2**)

Zoning: R3 High Density Residential (**Figure 3**); current Parish Zoning: R-2 Rural Residential District (**Figure 4**)

Requests: Annex and establish City zoning classification as R3 – High Density Residential

Parish Concurrence: Not needed

Planning & Zoning Commissions

Public Hearing: September 21, 2026

City Council (tentative)

Consent Agenda: October 13, 2026

Public Hearing: October 27, 2026

RECOMMENDATIONS

Planning Department

APPROVAL

Planning Commission

TBD

FINDINGS

1. The property identified as Lot .11 acres is undeveloped, was created as a land parcel from land formerly designated as an extension of Fairview Drive in the Woodland Park Subdivision and is designated by the St Tammany Parish Assessor as Tax Parcel 144189. (**Figure 1**)
2. The petitioned property has:
 - No registered voters (Certificate of Registrar of Voters dated June 23, 2026).
 - No resident property owners.
 - The petitioned property has an assessed value of \$698. Non-resident property owners representing (100%) of the assessed value of the petitioned property signed by one corporate property owner, a representative of which signed the Annexation Petition on July 26, 2026.
 - One corporate property owner, a representative of which signed the Annexation Petition.
3. The petitioned property is contiguous with the City's corporate limits via 14% of shared boundary with 1450 Gause Boulevard West.
4. Proposed residential zoning is consistent with the *Slidell 2040 Comprehensive Plan* Future Land Use Map (**Figure 2**)
5. The parcel for the current petition is currently zoned R-2 Parish zoning Rural Residential. (**Figure 4**)

6. The applicant requests establishment of City zoning as R3 High Density Residential to coincide with the R-3 zoning of the adjacent property at 1450 Gause Boulevard West that was recently annexed into the City by the same developer for the Sagefield subdivision. The site is proposed to be utilized as a secondary point of ingress and egress into the proposed subdivision with no dwelling unit added to the site. **(Figure 5)**
7. Utility connections will be provided through this proposed Sagefield Drive dedicated right-of-way within the adjacent subdivision as the closest existing water line is located north of Gause Boulevard West at the intersection of Harrison Road and the closest existing sewer line is located south of Gause Boulevard West on Carroll Road. **(Figure 6)**
8. The property is in Flood Zone A2 with an approximate ground elevation of 12 feet. **(Figure 7)**
9. An objection to the proposed Sagefield subdivision by Shelia Patterson of 514 Edgewood Drive has been received. **(Figure 8)**

ASSESSMENT OF REQUEST

The Planning Department finds the annexation and zoning map amendment request adheres to applicable requirements and is appropriate/reasonable for the following reasons:

- The proposed use as a public right-of-way is consistent with adjacent residential use and historic layout of the Woodland Park subdivision.
- The right-of-way will provide a necessary secondary ingress and egress point to the proposed adjacent Sagefield subdivision.
- The request is consistent with City of Slidell Subdivision regulations and State of Louisiana Fire Marshal regulations for the provision of additional point of ingress/egress to the proposed subdivision.
- The request is consistent with the *Slidell 2040 Comprehensive Plan*.
- The provision of utilities through this lot to Edgewood Drive will expand the capacity of the City's infrastructure systems and will provide the ability for additional annexations as requested.

FIGURES

Figure 1. Site Location

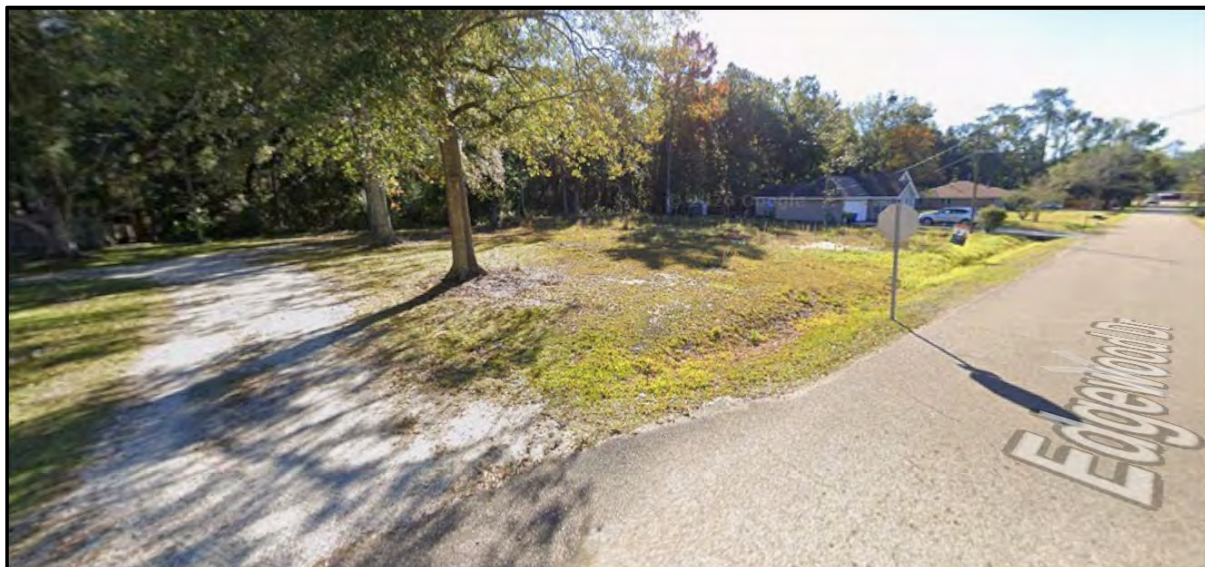
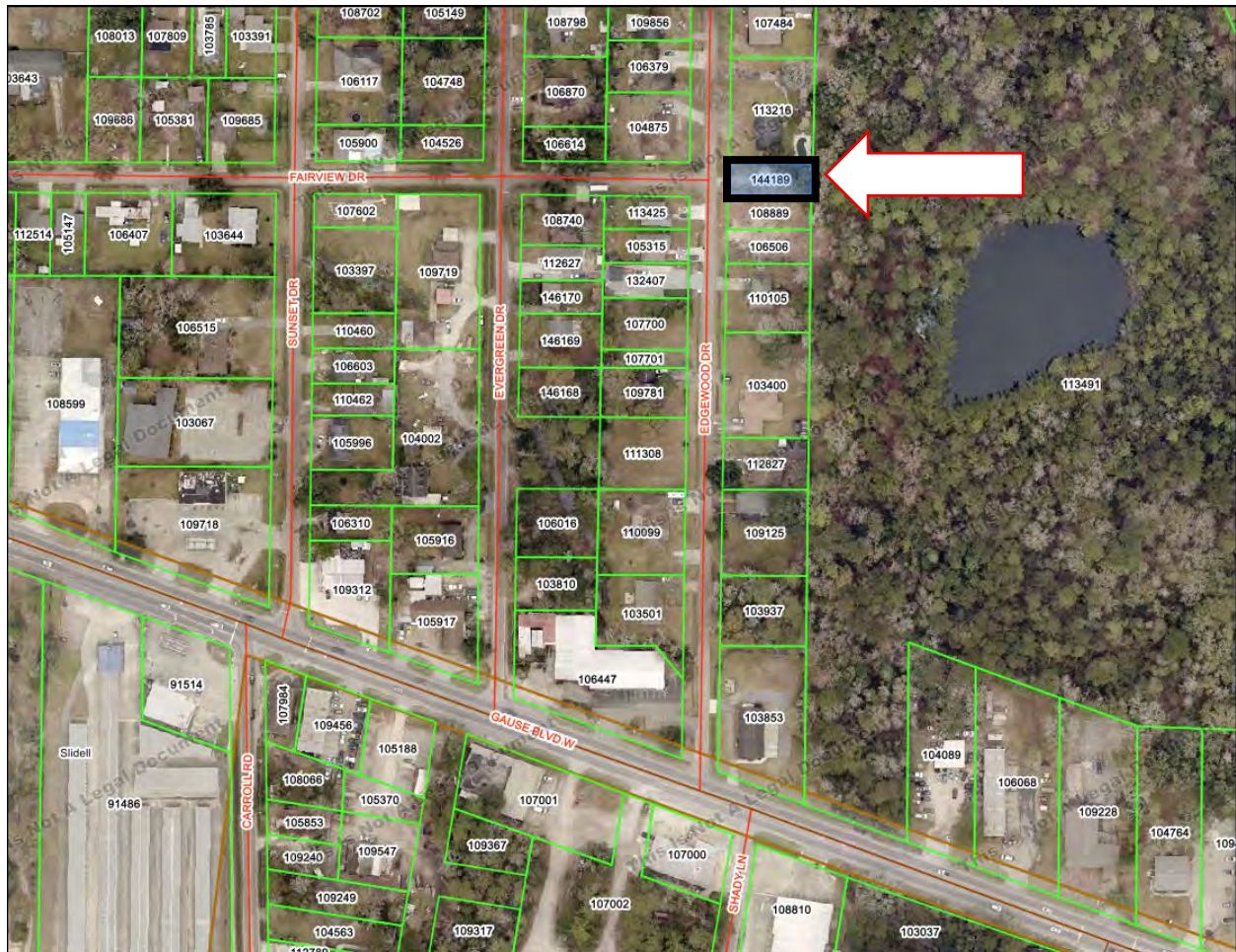


Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

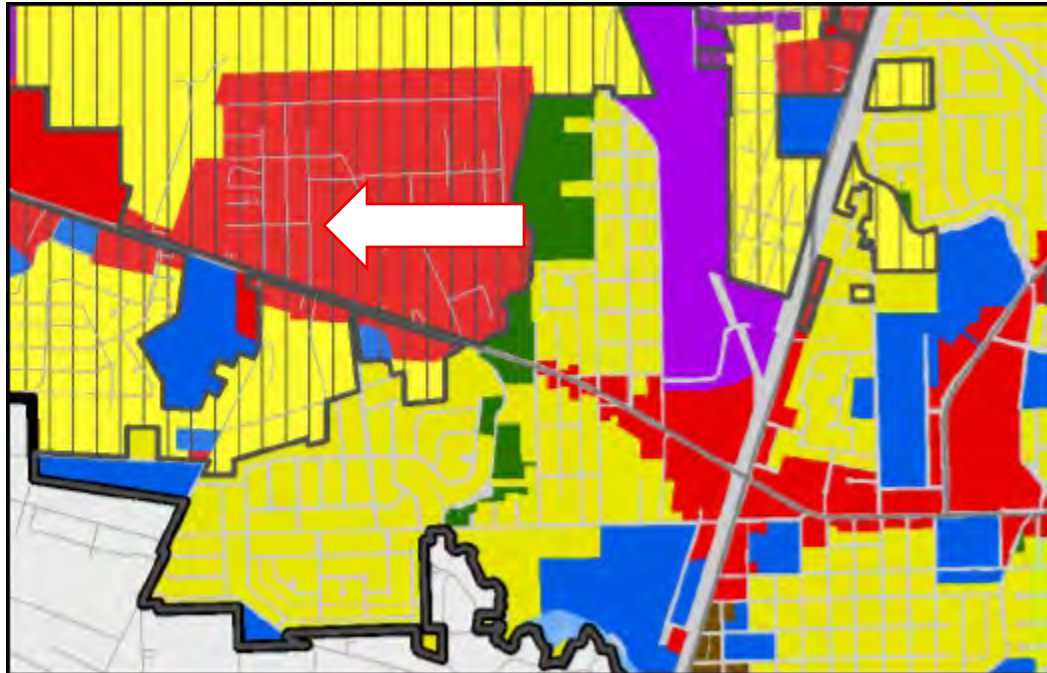


Figure 3. City Zoning

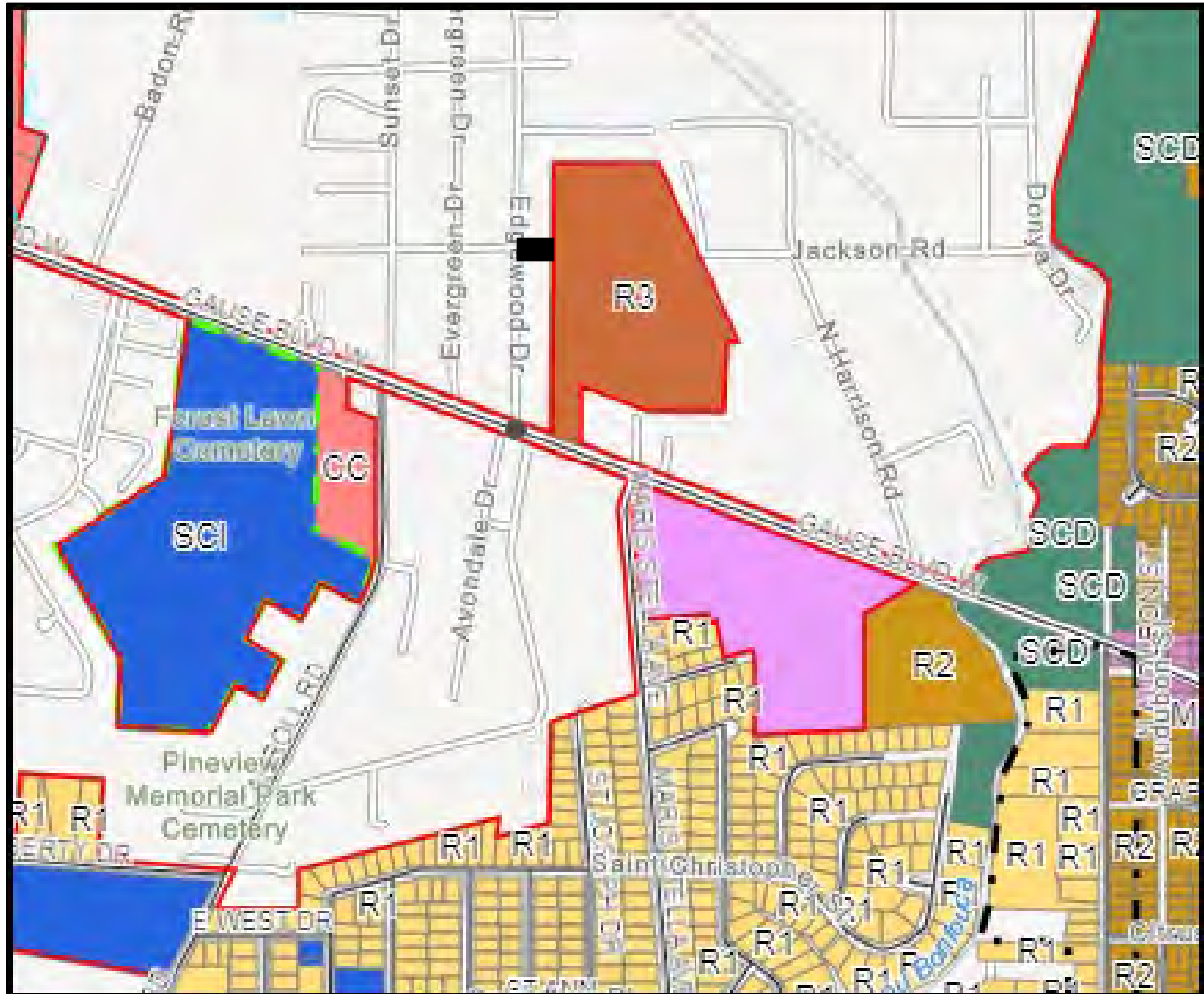


Figure 4. Parish Zoning

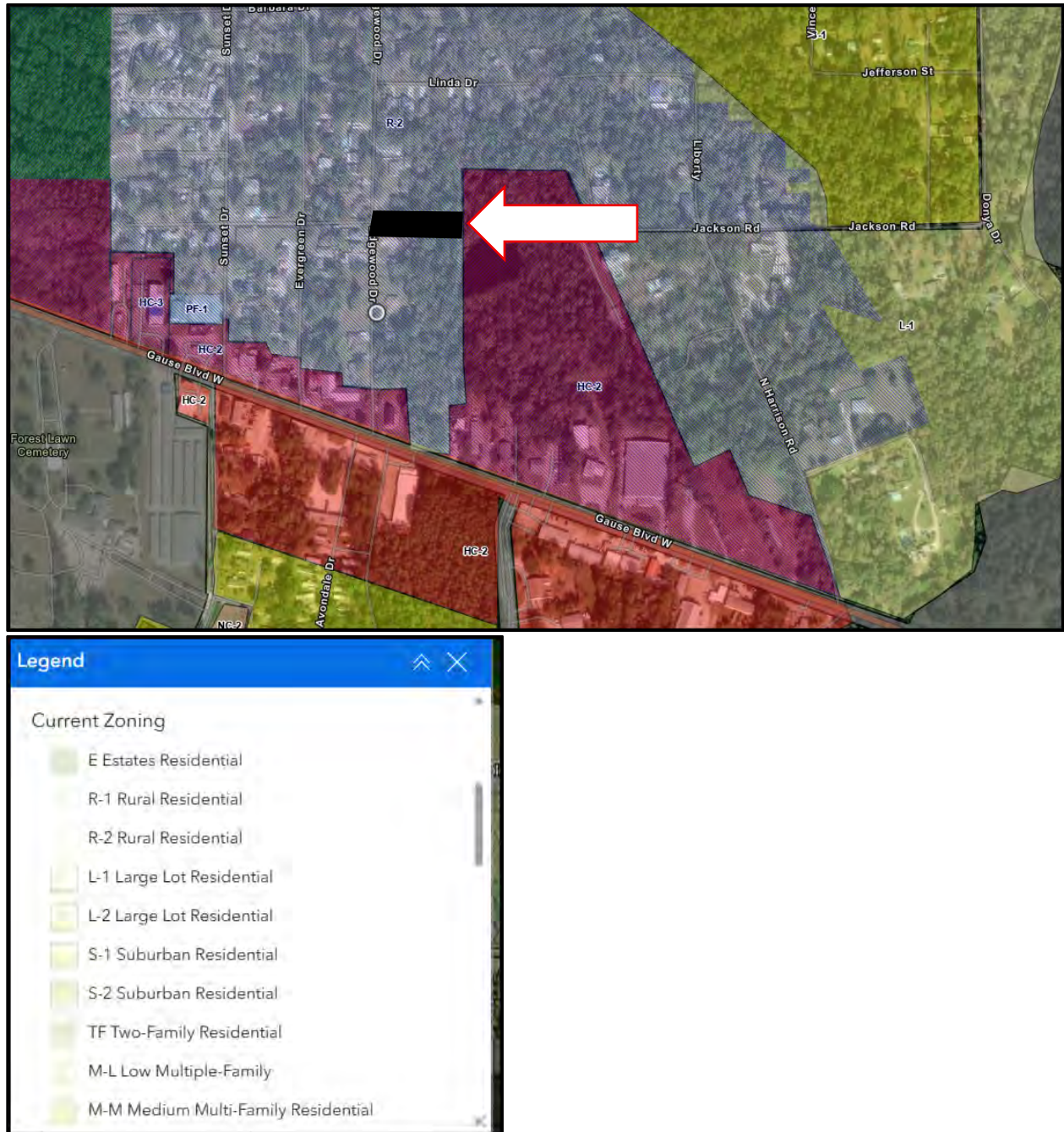


Figure 5: Survey

(see following page)



NOTE:
MEASURED BEARINGS AND DISTANCES BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD83 AS DERIVED FROM THE LSU C4G RTK NETWORK (2025.69).

CONTROLLING STATION: SLIDELL, LA (SJHS)
LAT: 30°16'49.45656" N
LON: 89°46'47.85818" W

TO CONVERT TO GEODETIC BEARINGS USE:
G = 0°0'49.50" 10'

TO CONVERT DISTANCES SHOWN HEREON TO HORIZONTAL GROUND DISTANCES, USE SCALE FACTOR: 0.99993622

ELEVATION NOTE:

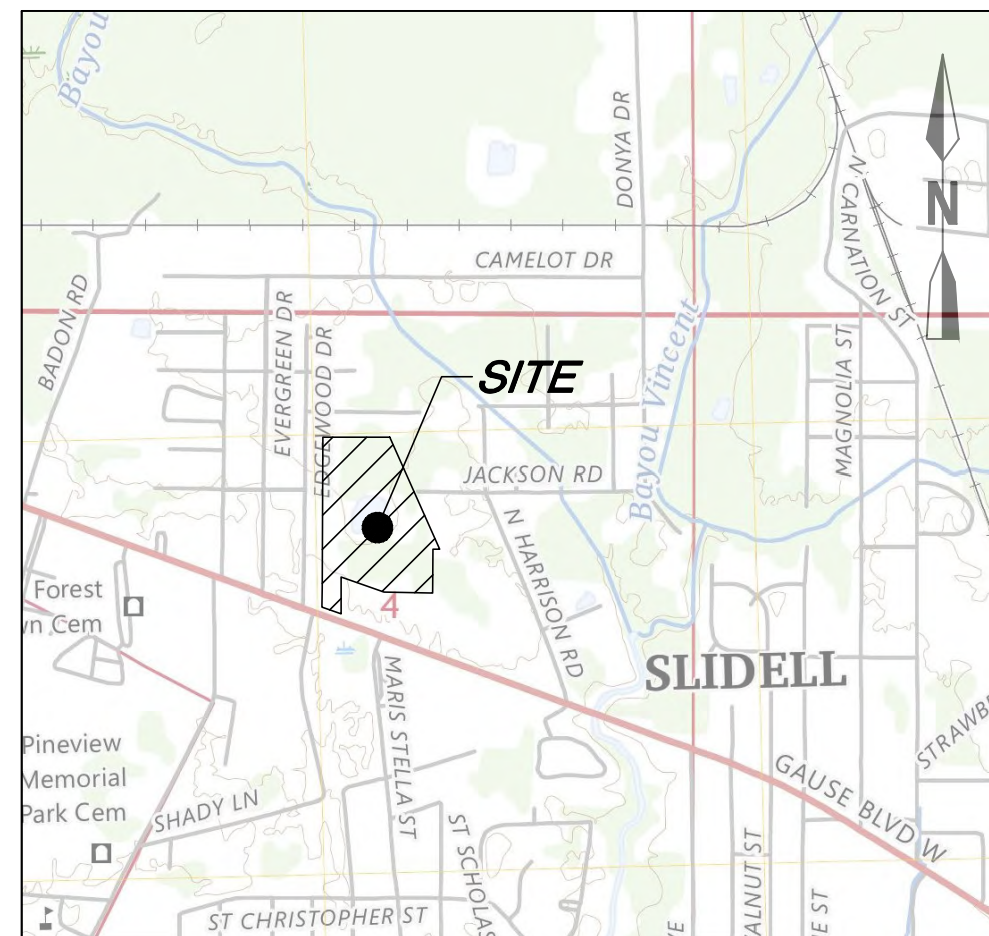
ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 18) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2025.69).

SITE BENCHMARK A: 600 NAIL SET IN THE NORTH SIDE OF A POWERPOLE ±150' EAST OF THE INTERSECTION OF GAUSE BLVD. AND EDGEWOOD DR. AND ±40' NORTH OF CENTERLINE OF GAUSE BLVD. (SEE DRAWING FOR LOCATION)
ELEVATION: 9.72'

SITE BENCHMARK B: 600 NAIL SET IN THE NORTH SIDE OF A POWERPOLE ±30' EAST OF THE INTERSECTION OF GAUSE BLVD. AND EDGEWOOD DR. AND ±40' NORTH OF CENTERLINE OF GAUSE BLVD. (SEE DRAWING FOR LOCATION)
ELEVATION: 11.51'

PRELIMINARY PLAT OF SAGEFIELD SUBDIVISION SECTION 4, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA

SITE INFORMATION	
R3	52
ZONING	NO. OF LOTS
ASPHALT ROAD SURFACE	6,000± S.F.
50'	AVERAGE LOT SIZE
ROW WIDTHS	45'
21.16 ACRES	MAX BUILDING HEIGHT
TOTAL AREA	7.77± ACRES
471,366± SQ. FT.	TOTAL LOT AREA
GREENSPACE	± 2.119'
	STREETS



VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION:

THAT CERTAIN PIECE OR PARCEL OF LAND, SITUATED IN SECTION 4 TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 16 OF WOODLAND PARK SUBDIVISION, SQUARE 9, A RECORDED SUBDIVISION, SAID CORNER REPORTED TO BE 871 FEET SOUTH AND 1259.5 FEET EAST OF THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 9 SOUTH, RANGE 14 EAST, SAID POINT OF BEGINNING MARKED WITH A 3/4" IRON ROD FOUND;

THENCE N89°47'43"E A DISTANCE OF 523.14 FEET TO A 1" IRON ROD FOUND; THENCE S24°20'56"E A DISTANCE OF 956.87 FEET TO A 1/4" IRON ROD FOUND; THENCE N89°09'24"W A DISTANCE OF 52.07 FEET TO A 1/2" IRON ROD FOUND; THENCE S00°02'36"W A DISTANCE OF 342.69 FEET TO A 3/4" IRON PIPE FOUND; THENCE N89°54'42"W A DISTANCE OF 191.93 FEET TO A 1/2" IRON ROD FOUND; THENCE N88°45'51"W A DISTANCE OF 188.72 FEET TO A 1" IRON PIPE FOUND; THENCE N70°50'06"W A DISTANCE OF 354.63 FEET TO A 1/2" IRON ROD FOUND; THENCE S00°29'54"E A DISTANCE OF 288.76 FEET TO A 1/2" IRON ROD FOUND; THENCE N70°59'29"W A DISTANCE OF 180.00 FEET TO A 1/2" IRON ROD FOUND; THENCE N00°29'11"E A DISTANCE OF 152.09 FEET TO A 1" IRON ROD FOUND; THENCE N00°06'37"W A DISTANCE OF 1175.08 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 21.16 ACRES AS SURVEYED BY DUPLANTIS DESIGN GROUP, P.C. PROJECT NO. 25-1595, DATED APRIL 28, 2025 AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS THAT MAY BE OF RECORD.

GENERAL NOTES:

- REFERENCES:
BOUNDARY & TOPOGRAPHIC SURVEY IN SECTIONS 30, 31 AND 37, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, DATED 08/29/2023, BY DUPLANTIS DESIGN GROUP, P.C.
- FLOOD ZONE NOTE:
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.
FLOOD ZONE: "A2"
COMMUNITY PANEL NO: 2252050420E
MAP REVISED: APRIL 21, 1999
NOTES:
CONTACT CITY OF SLIDELL FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.
- GREENSPACES:
GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- UTILITY LOCATIONS:
UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- TITLE:
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.
- ZONING:
PROPERTY IS ZONED R3.
FRONT YARD = 20'
SIDE YARD = 5'
REAR YARD = 25'
- NO CONSTRUCTION WITHIN DEDICATED SERVITUDES WITHOUT WRITTEN PERMISSION OF OWNER OF SERVITUDE.
- LOT WIDTH IS THE WIDTH OF A LOT AT THE BUILDING SETBACK LINE MEASURED PARALLEL TO THE STREET RIGHT OF WAY LINE; MINIMUM WIDTH REQUIRED 50'.

DEDICATION:
ALL STREET RIGHTS-OF-WAY SHOWN HEREON, SHALL BE DEDICATED TO THE CITY OF SLIDELL. ALL SERVITUDES SHOWN HEREON, SHALL BE DEDICATED TO THE CITY OF SLIDELL. FOR THE PURPOSES INDICATED ON THE PLAT, INCLUDING UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE BY THE PUBLIC. THE IRON SHALL OWN AND BE RESPONSIBLE FOR MAINTENANCE OF THE DETENTION POND AND ALL COMMON, OPEN, OR GREEN SPACES.

APPROVAL:

25-1595_PPLAT_20260505.DWG	DATE
05/06/2026	
PLANNING DIRECTOR - CITY OF SLIDELL	DATE
JEFF VALLEE (H12, LLC) - OWNER	DATE

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 05/20/2026

SETH J. MOSBY, P.L.S.: LA REG. NO. 5073
REGISTERED PROFESSIONAL LAND SURVEYOR



PROJECT NO. 25-1595

25-1595_PPLAT_20260505.DWG

05/06/2026

CHECKED BY SJM

DRAWN BY SLM

SHEET

1-1

Figure 7: FEMA Flood Map Panel (Effective FIRM)



Figure 8. Public Comments

From: Shelia Patterson <spatterson75@att.net>
Sent: Friday, September 11, 2026 5:13 PM
To: Building Safety <buildingsafety1@cityofslidell.org>
Cc: Councilman Arthur Laughlin <arthurlaughlin@gmail.com>
Subject: RE: Formal Objection to Unapproved Street Access/Connection – Sagefield Subdivision impacting Woodland Park Subdivision

September 11, 2026

VIA EMAIL

Slidell Planning Department
Attn: Planning and Zoning Commission / City Planner
250 Bouscaren St, Ste 203
Slidell, LA 70458

To the Slidell Planning Department and Members of the Planning and Zoning Commission,
We are writing as residents of the **Woodland Park Subdivision** to submit a formal objection regarding the proposed or attempted use of our neighborhood streets as an entrance and exit for the developing **Sagefield Subdivision**.

It has come to our attention that the developers of the Sagefield Subdivision intend to cut through and connect to our existing, quiet neighborhood streets. This access point has **not been approved** by the City of Slidell.

Furthermore, the residents of Woodland Park were never given public notice, nor were we made aware of the Sagefield Subdivision project and its severe traffic implications for our community.

Our objection is based on the following critical points:

- **Lack of Public Notification & Due Process:** As directly affected property owners, we were completely bypassed in the notification process. This deprives us of our right to review the developer's layout and voice our concerns before infrastructure changes are made.
- **Public Safety Hazards:** Our neighborhood streets were engineered strictly for local residential traffic within Woodland Park. Forcing high-volume construction and daily commuter traffic from Sagefield through our streets creates an immediate safety risk for our pedestrians, cyclists, and children.
- **Absence of Traffic & Engineering Studies:** No traffic impact analysis has been presented to prove that Woodland Park's existing infrastructure can safely absorb or sustain the cut-through traffic from an entirely separate development.

We respectfully request that the Slidell Planning Department immediately **halt any infrastructure connections** between Sagefield and Woodland Park. We formally demand that this matter be placed on the agenda for a public hearing before the **Planning and Zoning Commission**, allowing all affected Woodland Park residents an opportunity to review the plats and speak on the record.

Please confirm receipt of this letter and add it to the official city project file for the Sagefield Subdivision. Please also notify us immediately of any upcoming commission hearings regarding this development.

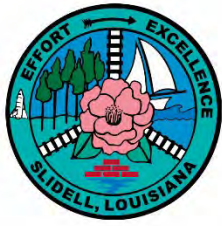
Thank you for your prompt attention to this urgent matter.

Sincerely,

Shelia Patterson
514 Edgewood Dr.
Phone: 985-643-4630

Slidell, LA 70460

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Planning Department

STAFF REPORT

Case No. AZ 2026-0007

Annexation of that parcel of land identified as Tax Parcel 108889
containing .13 acres addressed as
456 Edgewood Drive

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: Tax Parcel 108889, Lot 32 and Lot 33 Woodland Park Subdivision, Edgewood Drive (**Figure 1**)

Petitioner(s): Jeff Vallee, authorized representative of H South LLC

Future Land Use: Residential (**Figure 2**)

Zoning: R3 High Density Residential (**Figure 3**); current Parish Zoning: R-2 Rural Residential District (**Figure 4**)

Requests: Annex and establish City zoning classification as R3 – High Density Residential

Parish Concurrence: Not needed

Planning & Zoning Commissions

Public Hearing: September 21, 2026

City Council (tentative)

Consent Agenda: October 13, 2026

Public Hearing: October 27, 2026

RECOMMENDATIONS

Planning Department

APPROVAL

Planning Commission

TBD

FINDINGS

1. The property is identified as Lot 32 and Lot 33 and consist of .13 acres of undeveloped property and is designated by the St Tammany Parish Assessor as Tax Parcel 108889. (**Figure 1**)
2. The petitioned property has:
 - No registered voters (Certificate of Registrar of Voters dated June 23, 2026);
 - No resident property owners; and
 - The petitioned property has an assessed value of \$698. Non-resident property owners representing (100%) of the assessed value of the petitioned property signed by one corporate property owner, a representative of which signed the Annexation Petition on July 26, 2026.
 - One corporate property owner, a representative of which signed the Annexation Petition.
3. The petitioned property is contiguous with the City's corporate limits via 14% of shared boundary with 1450 Gause Boulevard West.
4. Proposed residential zoning is consistent with the *Slidell 2040 Comprehensive Plan* Future Land Use Map (**Figure 2**)
5. The parcel for the current petition is currently zoned R-2 Parish zoning Rural Residential. (**Figure 4**)

6. The applicant requests establishment of City zoning as R3 High Density Residential and the site is proposed to be utilized for development of a single-family dwelling unit. This zoning district assignment will coincide with the R-3 zoning of the adjacent property at 1450 Gause Boulevard West that was recently annexed into the City, by the same developer, for the Sagefield subdivision with a proposed total of 53 housing units inclusive of this site. **(Figure 5)**
7. Utility connections will be provided through the proposed Sagefield Drive dedicated right-of-way and the annexed portion of the Edgewood Drive right-of-way as the closest existing water line is located north of Gause Boulevard West at the intersection of Harrison Road and the closest existing sewer line is located south of Gause Boulevard West on Carroll Road. **(Figure 6)**
8. The property is in Flood Zone A2 with an approximate ground elevation of 12 feet. **(Figure 7)**
9. An objection to the proposed Sagefield subdivision by Shelia Patterson of 514 Edgewood Drive has been received. **(Figure 8)**

ASSESSMENT OF REQUEST

The Planning Department finds the annexation and zoning map amendment request adheres to applicable requirements and is appropriate/reasonable for the following reasons:

- The proposed use as a single-family dwelling unit is consistent with adjacent existing residential use of the Woodland Park subdivision and proposed residential use of the Sagefield subdivision.
- The request is consistent with City of Slidell Subdivision regulations.
- The request is consistent with the *Slidell 2040 Comprehensive Plan*.
- The provision of utilities through this lot via Sagefield Drive and Edgewood Drive will expand the capacity of the City's infrastructure systems and will provide the ability for additional annexations as requested.

FIGURES

Figure 1. Site Location

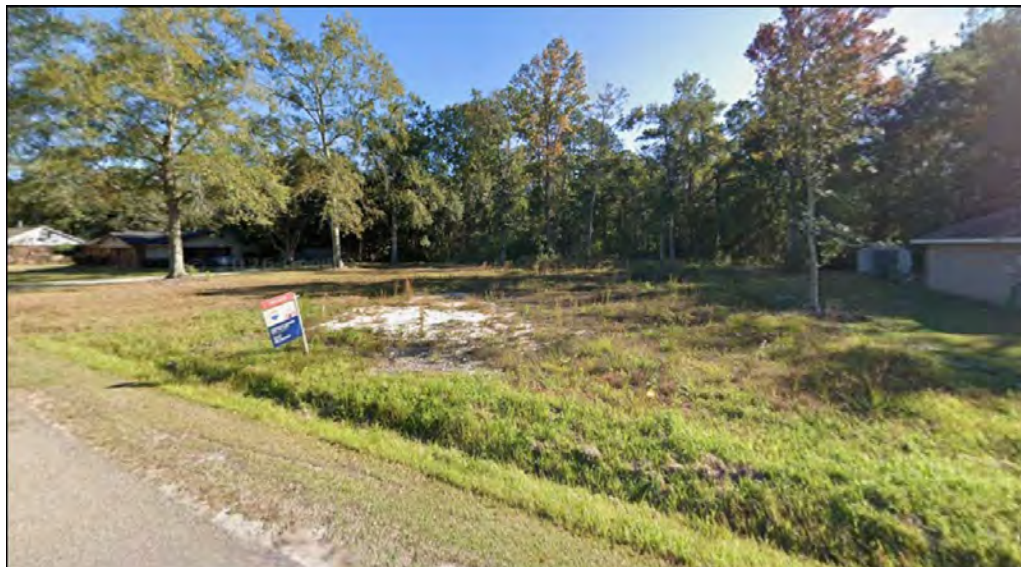
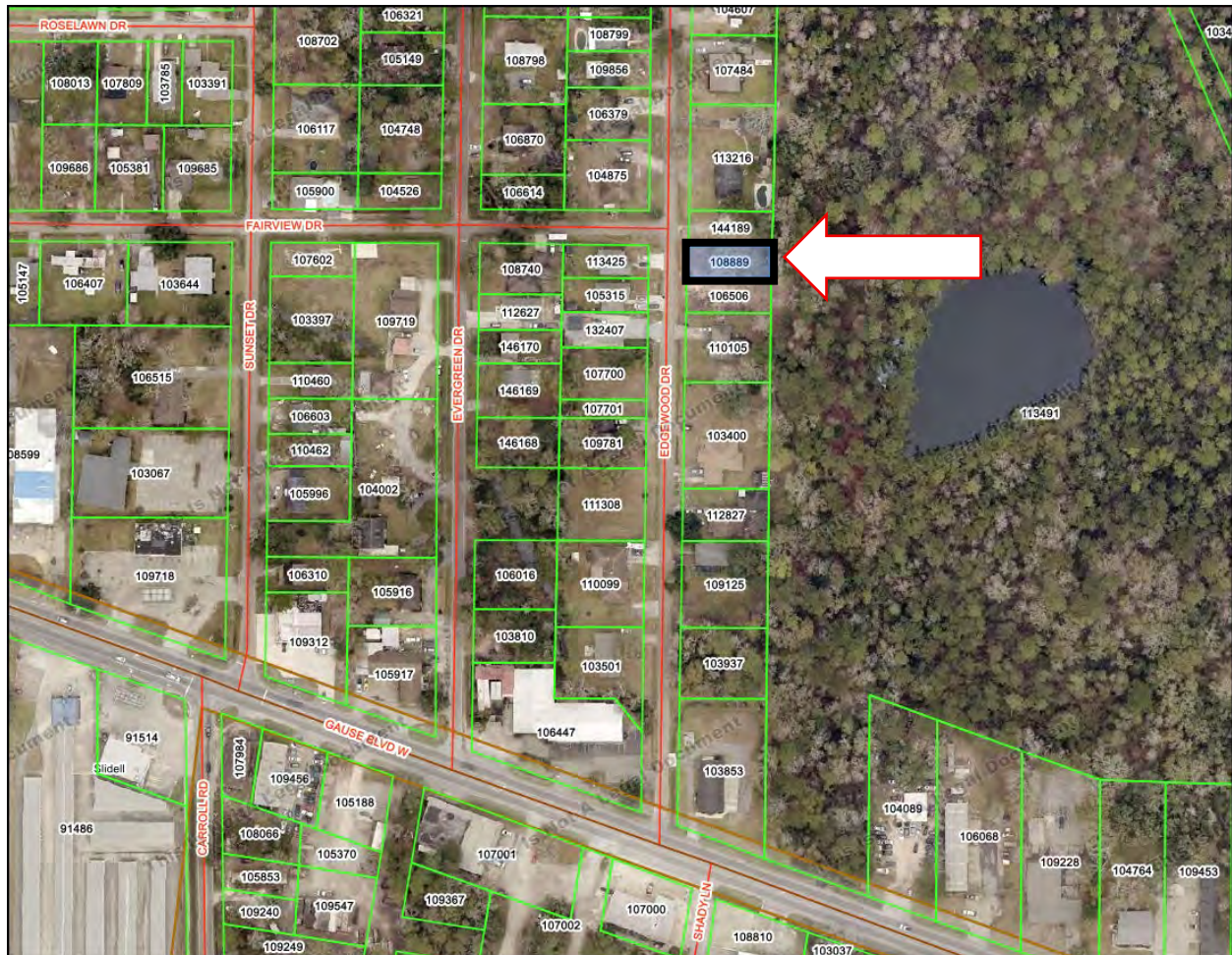


Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

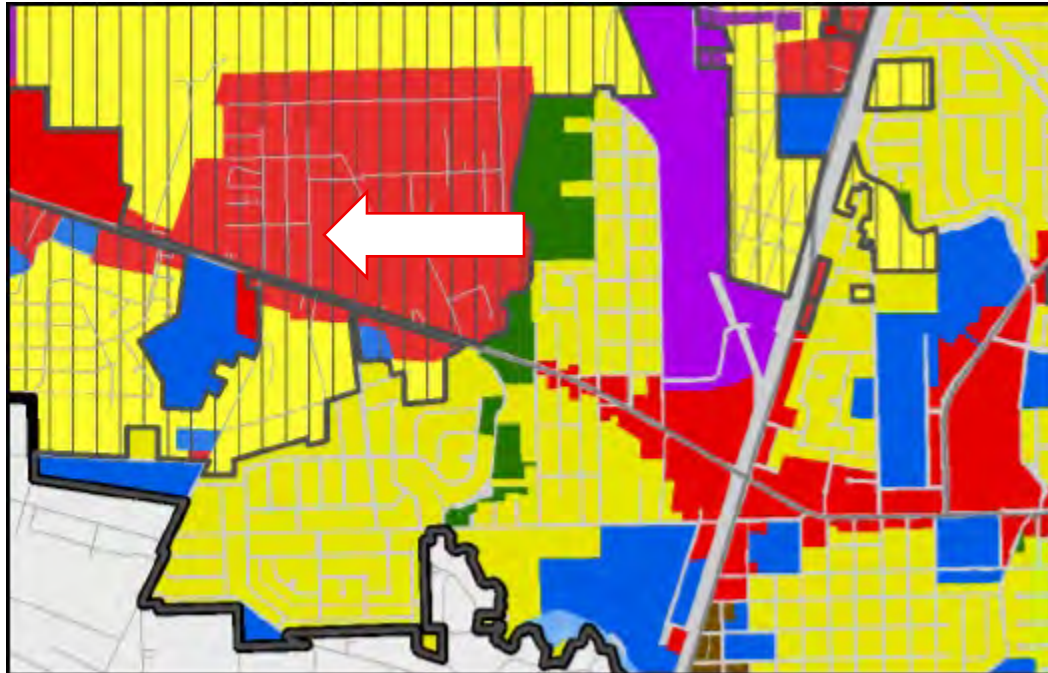


Figure 3. City Zoning

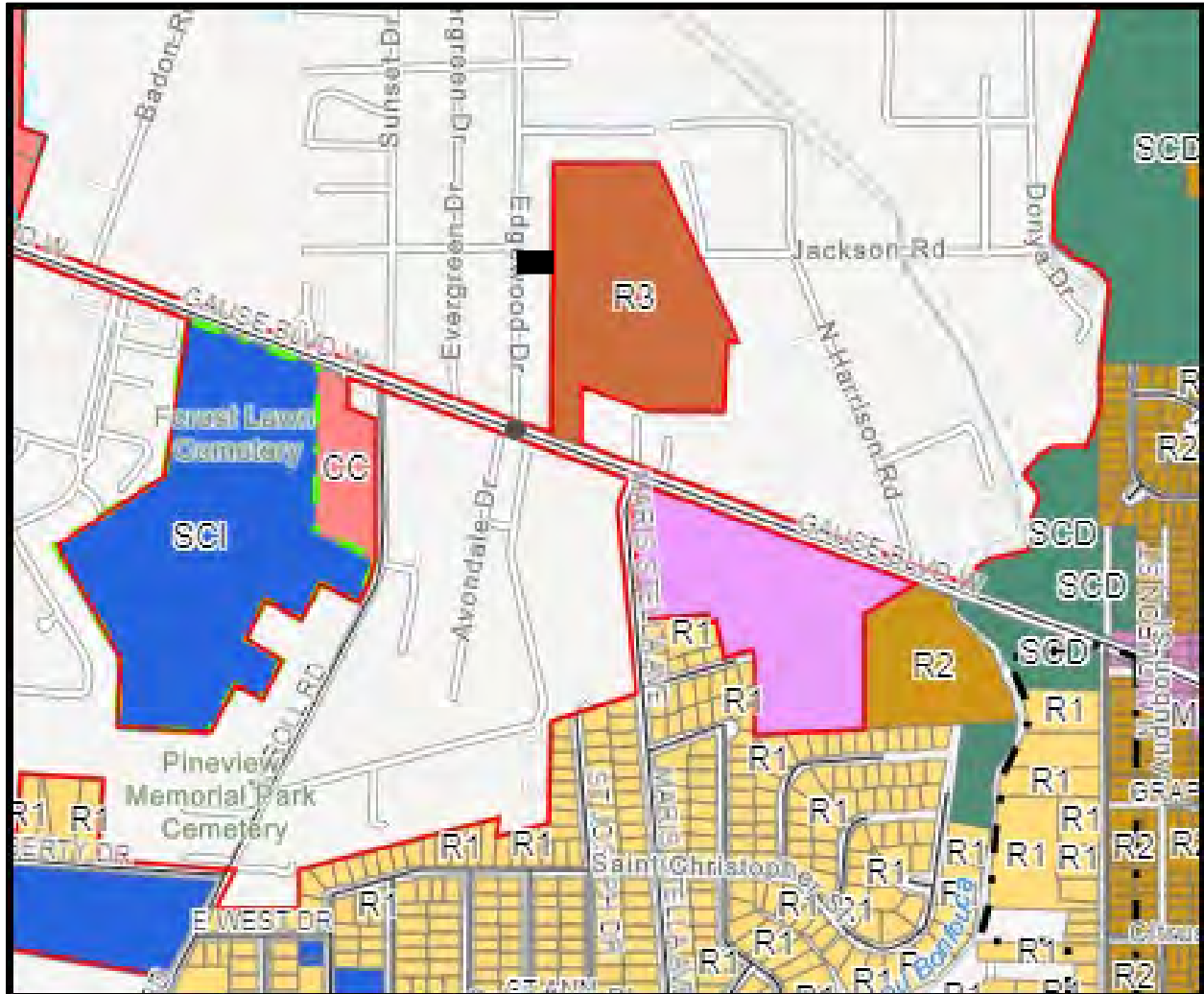


Figure 4. Parish Zoning

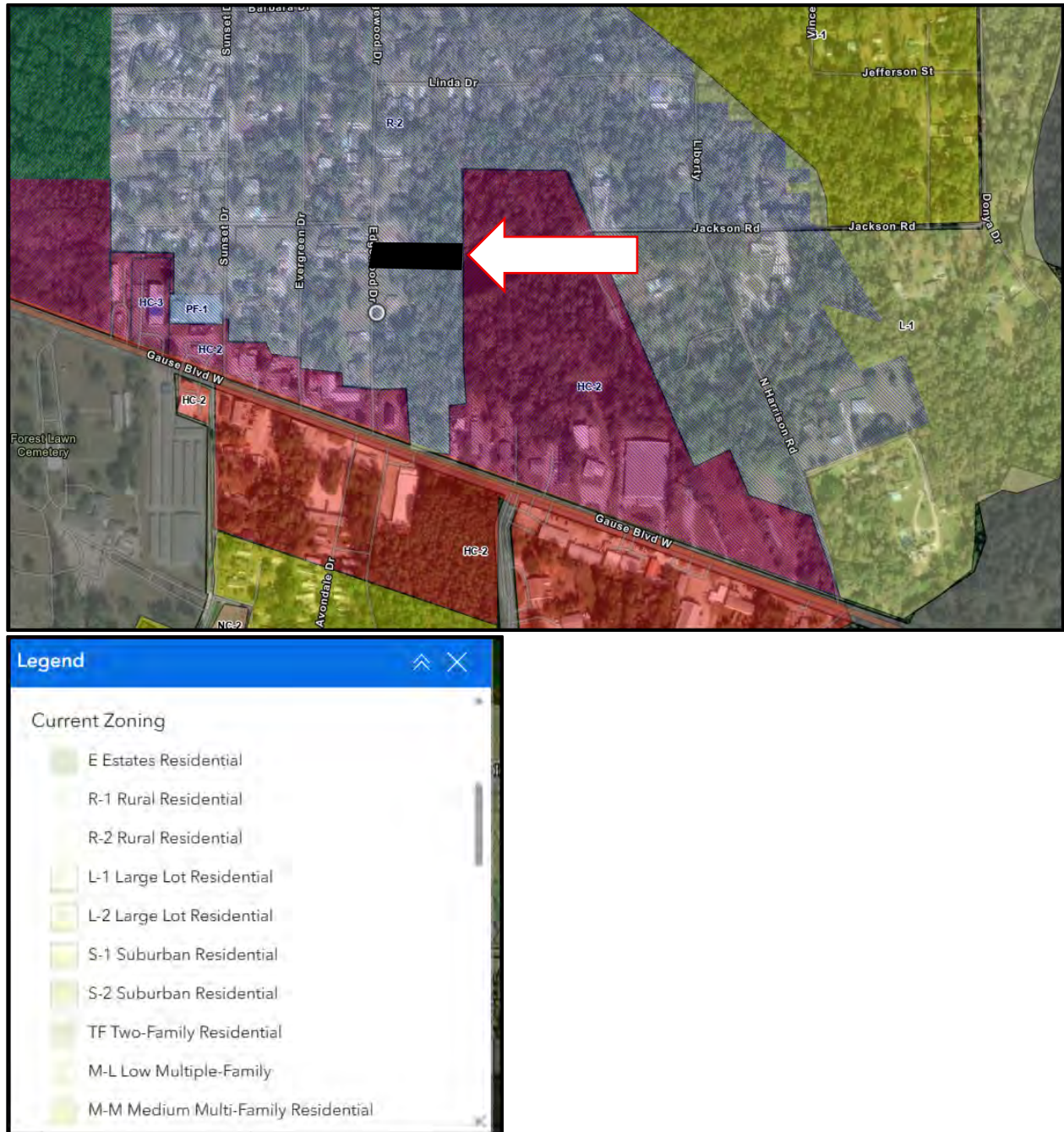


Figure 5: Survey

(see following page)

Figure 7: FEMA Flood Map Panel (Effective FIRM)

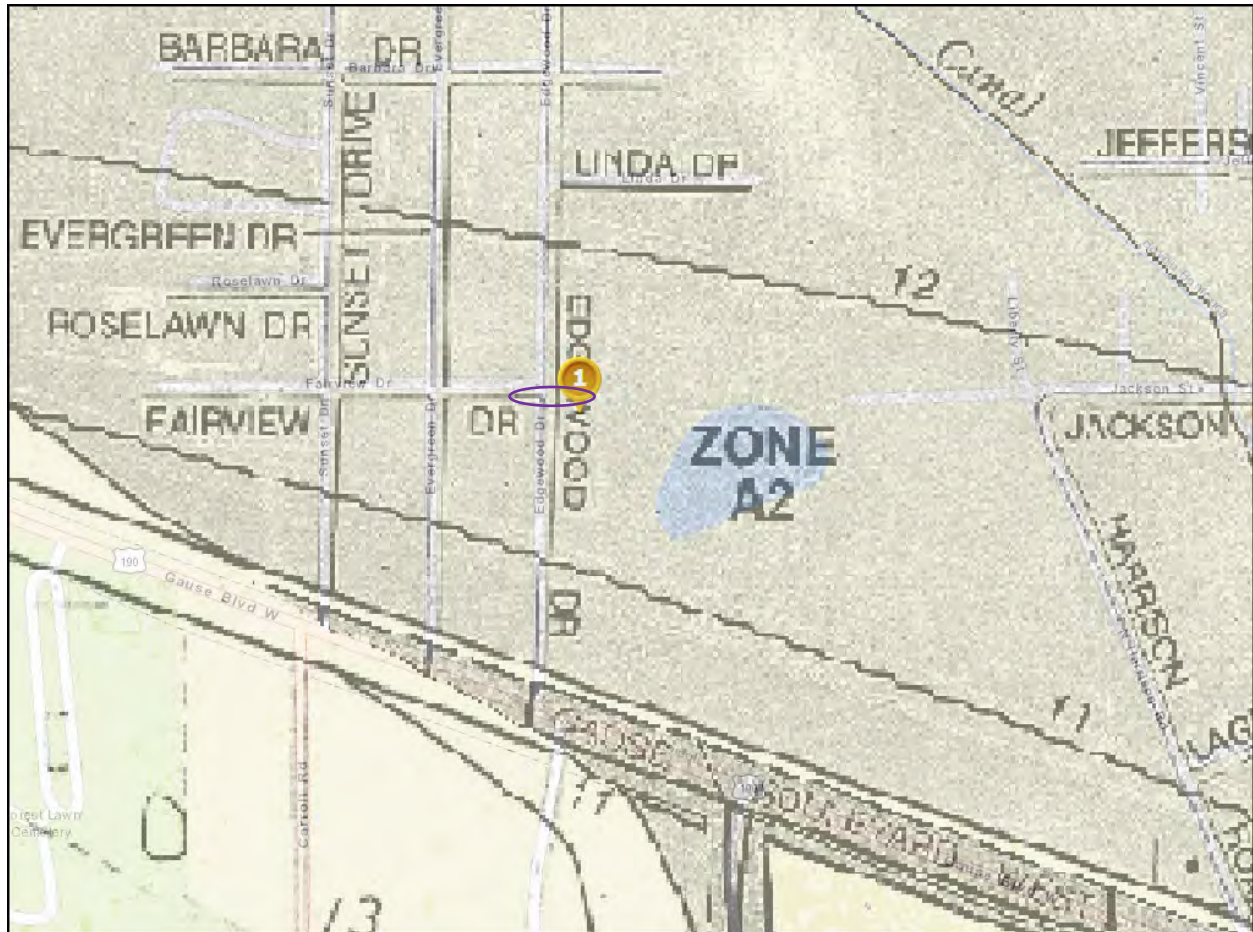


Figure 8. Public Comments

From: Shelia Patterson <spatterson75@att.net>

Sent: Friday, September 11, 2026 5:13 PM

To: Building Safety <buildingsafety1@cityofslidell.org>

Cc: Councilman Arthur Laughlin <arthurlaughlin@gmail.com>

Subject: RE: Formal Objection to Unapproved Street Access/Connection – Sagefield Subdivision impacting Woodland Park Subdivision

September 11, 2026

VIA EMAIL

Slidell Planning Department

Attn: Planning and Zoning Commission / City Planner

250 Bouscaren St, Ste 203

Slidell, LA 70458

To the Slidell Planning Department and Members of the Planning and Zoning Commission,

We are writing as residents of the **Woodland Park Subdivision** to submit a formal objection regarding the proposed or attempted use of our neighborhood streets as an entrance and exit for the developing **Sagefield Subdivision**.

It has come to our attention that the developers of the Sagefield Subdivision intend to cut through and connect to our existing, quiet neighborhood streets. This access point has **not been approved** by the City of Slidell.

Furthermore, the residents of Woodland Park were never given public notice, nor were we made aware of the Sagefield Subdivision project and its severe traffic implications for our community.

Our objection is based on the following critical points:

- **Lack of Public Notification & Due Process:** As directly affected property owners, we were completely bypassed in the notification process. This deprives us of our right to review the developer's layout and voice our concerns before infrastructure changes are made.
- **Public Safety Hazards:** Our neighborhood streets were engineered strictly for local residential traffic within Woodland Park. Forcing high-volume construction and daily commuter traffic from Sagefield through our streets creates an immediate safety risk for our pedestrians, cyclists, and children.
- **Absence of Traffic & Engineering Studies:** No traffic impact analysis has been presented to prove that Woodland Park's existing infrastructure can safely absorb or sustain the cut-through traffic from an entirely separate development.

We respectfully request that the Slidell Planning Department immediately **halt any infrastructure**

connections between Sagefield and Woodland Park. We formally demand that this matter be placed on the agenda for a public hearing before the **Planning and Zoning Commission**, allowing all affected Woodland Park residents an opportunity to review the plats and speak on the record.

Please confirm receipt of this letter and add it to the official city project file for the Sagefield Subdivision. Please also notify us immediately of any upcoming commission hearings regarding this development.

Thank you for your prompt attention to this urgent matter.

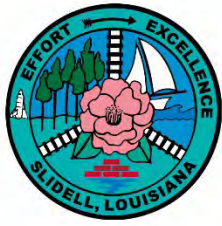
Sincerely,

Shelia Patterson

514 Edgewood Dr.

Phone: 985-643-4630

Slidell, LA 70460



Planning Department

STAFF REPORT

Case No. AZ 2026-0008

Annexation of that parcel of land identified as Tax Parcel 106506
containing .14 acres addressed as
450 Edgewood Drive

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: Tax Parcel 106506, Lot 30A, in Woodland Park Subdivision (**Figure 1, Figure 2**)

Petitioner(s): Jeff Vallee, authorized representative of H South LLC

Future Land Use: Residential (**Figure 2**)

Zoning: R3 High Density Residential (**Figure 3**); current Parish Zoning: R-2 Rural Residential District (**Figure 4**)

Requests: Annex and establish City zoning classification as R3 – High Density Residential

Parish Concurrence: Not needed

Planning & Zoning Commissions

Public Hearing: September 21, 2026

City Council (tentative)

Consent Agenda: October 13, 2026

Public Hearing: October 27, 2026

RECOMMENDATIONS

Planning Department

APPROVAL

Planning Commission

TBD

FINDINGS

1. The property is identified as Lot 30A consists of .14 acres of undeveloped property and is designated by the St Tammany Parish Assessor as Tax Parcel 106506. (**Figure 1**)
2. The petitioned property has:
 - No registered voters (Certificate of Registrar of Voters dated June 23, 2026);
 - No resident property owners; and
 - The petitioned property has an assessed value of \$698. Non-resident property owners representing (100%) of the assessed value of the petitioned property signed by one corporate property owner, a representative of which signed the Annexation Petition on July 26, 2026.
 - One corporate property owner, a representative of which signed the Annexation Petition.
3. The petitioned property is contiguous with the City's corporate limits via 14% of shared boundary with 1450 Gause Boulevard West.
4. Proposed residential zoning is consistent with the *Slidell 2040 Comprehensive Plan* Future Land Use Map (**Figure 2**)
5. The parcel for the current petition is currently zoned R-2 Parish zoning Rural Residential. (**Figure 4**)

6. The applicant requests establishment of City zoning as R3 High Density Residential and the site is proposed to be utilized for development of a single-family dwelling unit. This zoning district assignment will coincide with the R-3 zoning of the adjacent property at 1450 Gause Boulevard West that was recently annexed into the City, by the same developer, for the Sagefield subdivision with a proposed total of 53 housing units inclusive of this site. **(Figure 5)**
7. Utility connections will be provided through the proposed Sagefield Drive dedicated right-of-way and the annexed portion of the Edgewood Drive right-of-way as the closest existing water line is located north of Gause Boulevard West at the intersection of Harrison Road and the closest existing sewer line is located south of Gause Boulevard West on Carroll Road. **(Figure 6)**
8. The property is in Flood Zone A2 with an approximate ground elevation of 12 feet. **(Figure 7)**
9. An objection to the proposed Sagefield subdivision by Shelia Patterson of 514 Edgewood Drive has been received. **(Figure 8)**

ASSESSMENT OF REQUEST

The Planning Department finds the annexation and zoning map amendment request adheres to applicable requirements and is appropriate/reasonable for the following reasons:

- The proposed use as a single-family dwelling unit is consistent with adjacent existing residential use of the Woodland Park subdivision and proposed residential use of the Sagefield subdivision.
- The request is consistent with City of Slidell Subdivision regulations.
- The request is consistent with the *Slidell 2040 Comprehensive Plan*.
- The provision of utilities through this lot via Sagefield Drive and Edgewood Drive will expand the capacity of the City's infrastructure systems and will provide the ability for additional annexations as requested.

FIGURES

Figure 1. Site Location

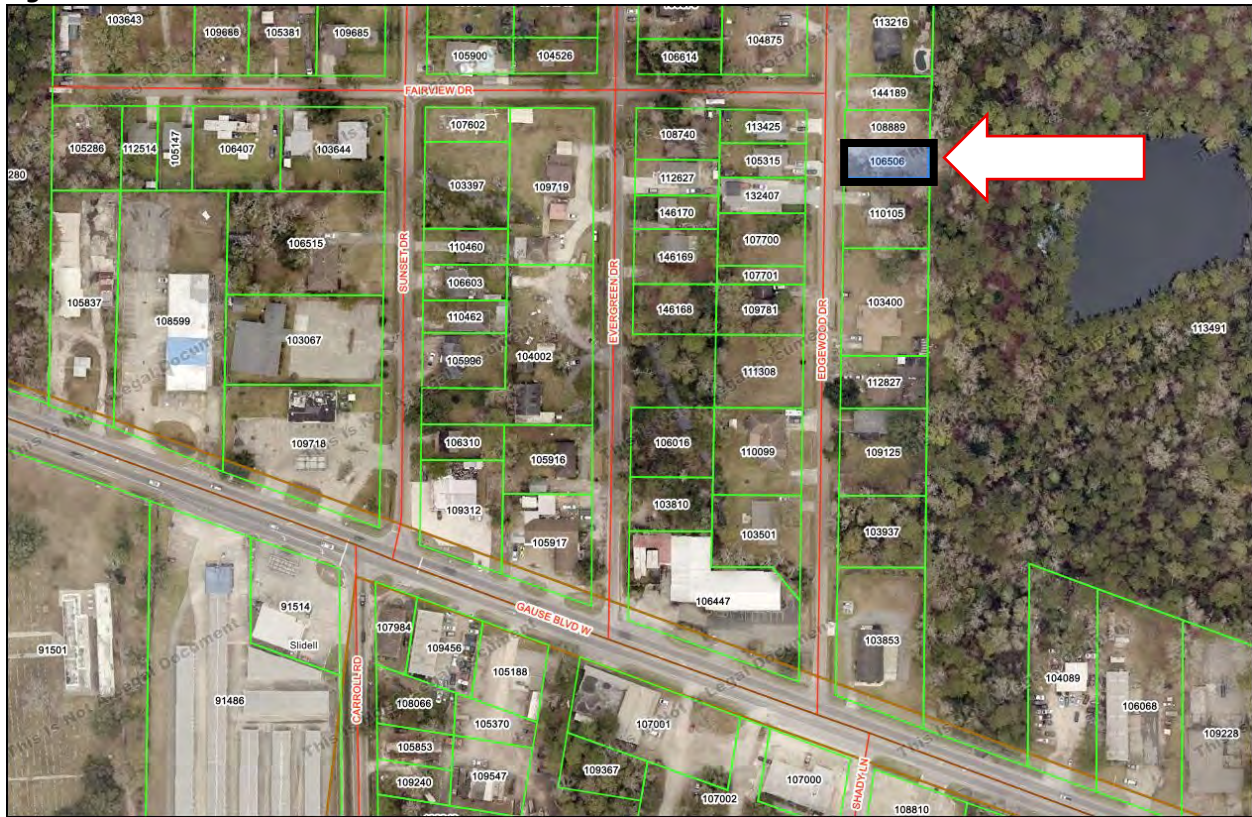


Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

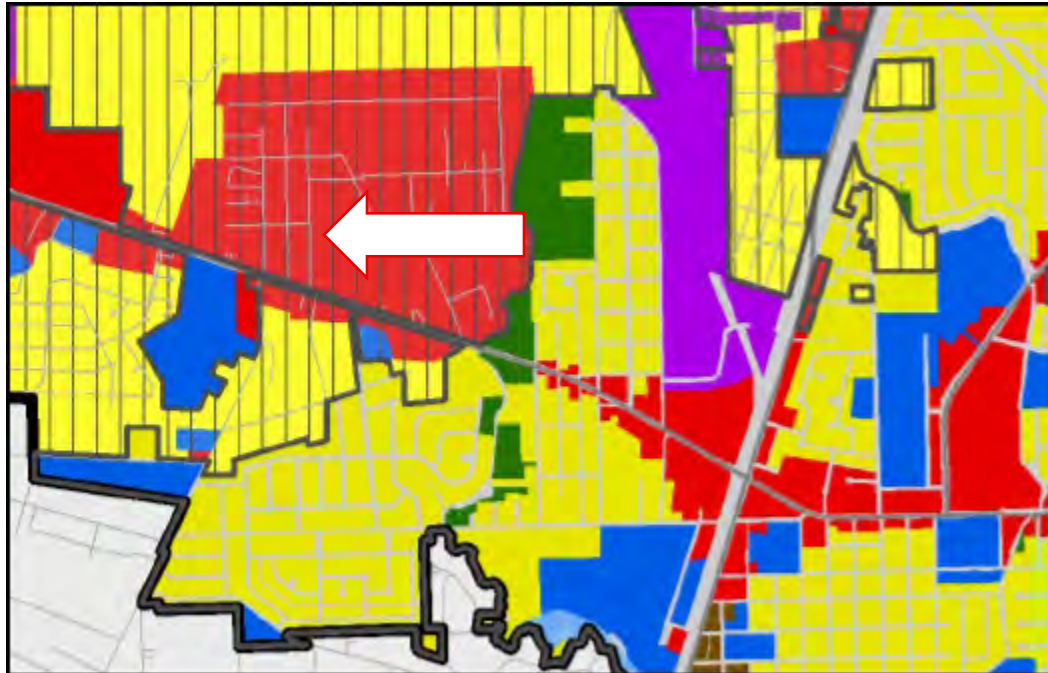


Figure 3. City Zoning

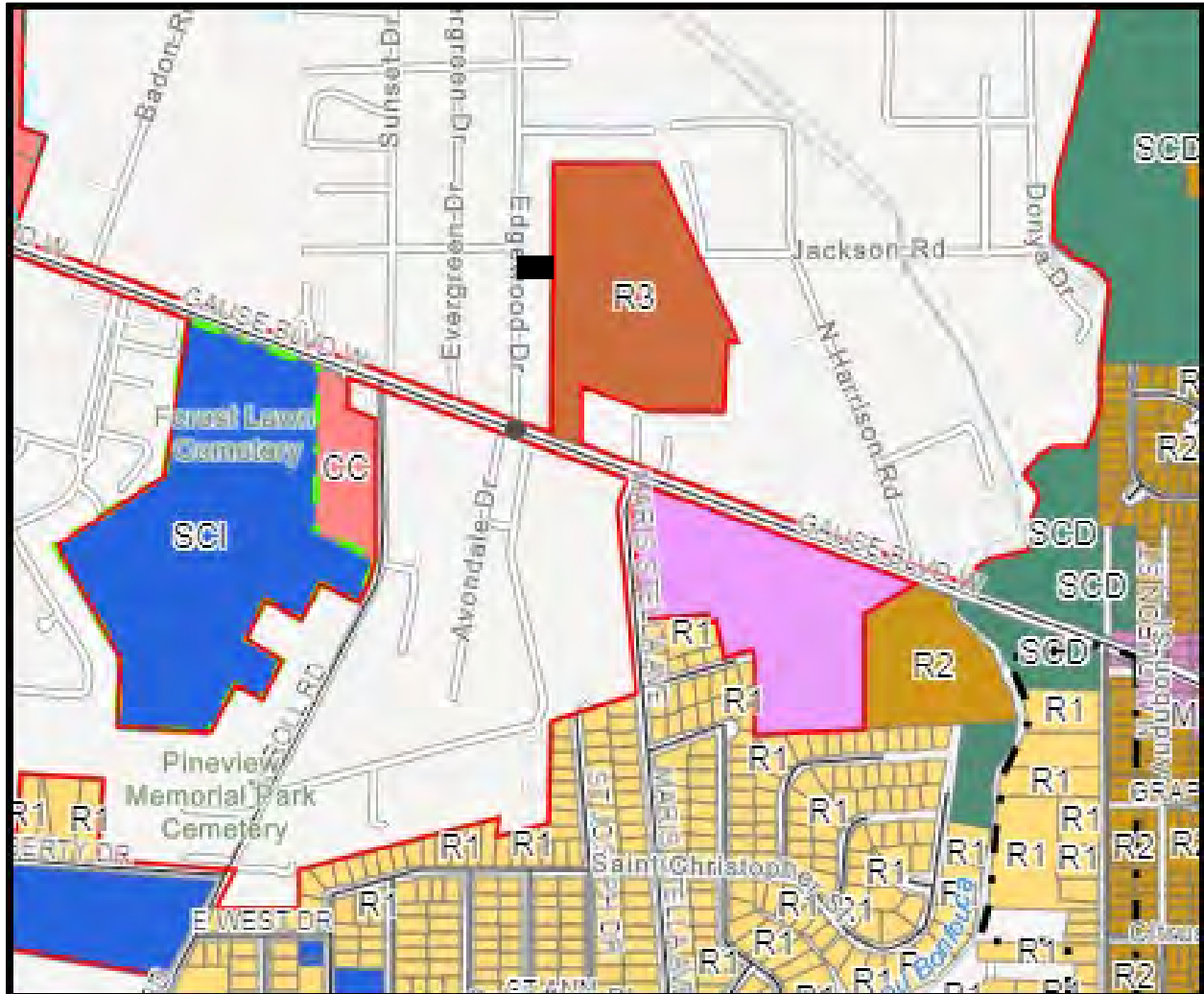


Figure 4. Parish Zoning

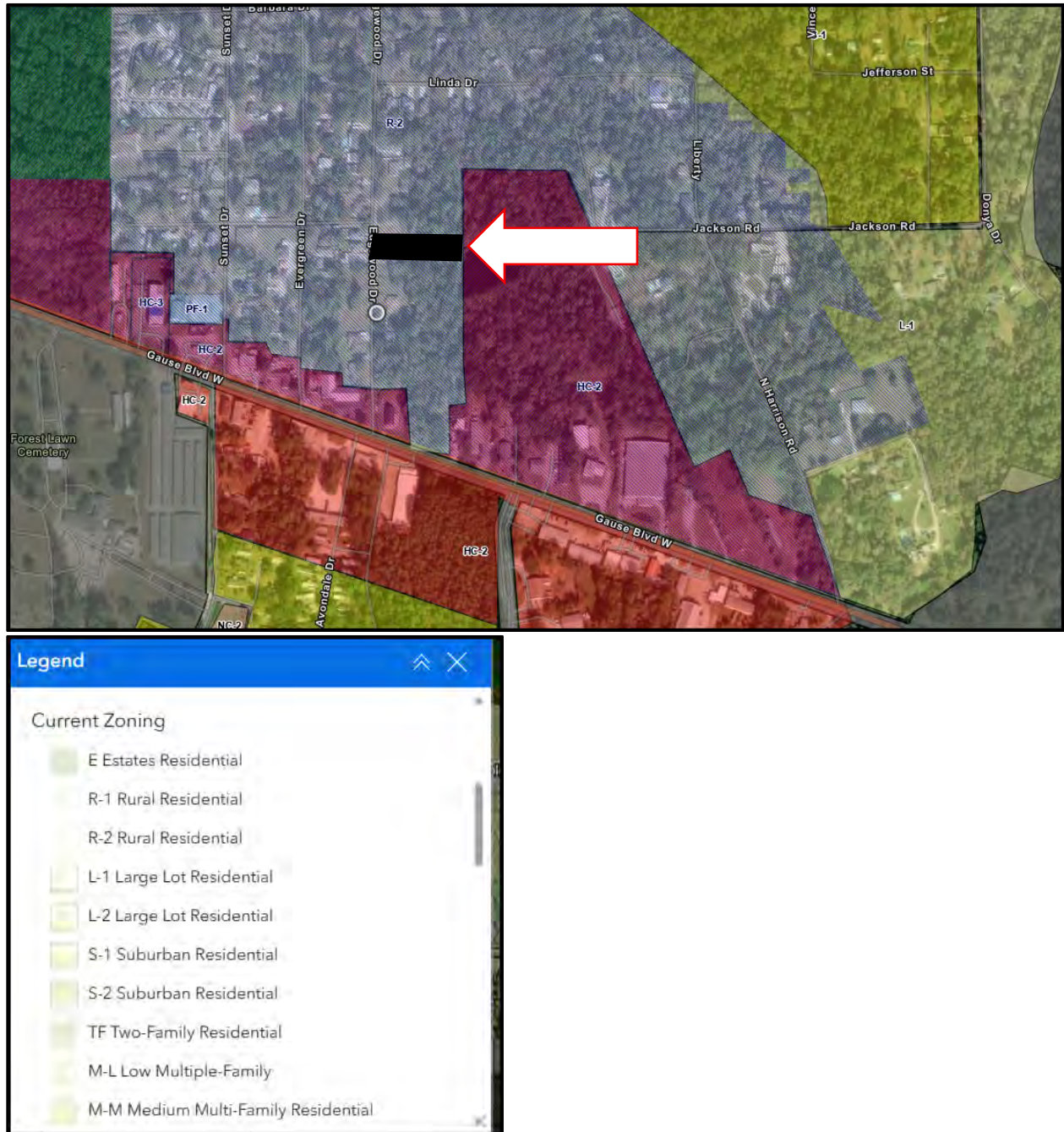


Figure 5: Survey

(see following page)



NOTE:
MEASURED BEARINGS AND DISTANCES BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH
ZONE (1702) NAD83 AS DERIVED FROM THE LSU C4G RTK NETWORK (2025.69).

CONTROLLING STATION: SLIDELL, LA (SJHS)

LAT: 30°16'49.45656" N
LON: 89°46'47.85818" W

TO CONVERT TO GEODETIC BEARINGS USE:
G = 0°0'49.50" 10'

TO CONVERT DISTANCES SHOWN HEREON TO HORIZONTAL GROUND DISTANCES, USE SCALE
FACTOR: 0.99993622

ELEVATION NOTE:

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 18) AS DERIVED FROM GPS
OBSERVATIONS USING THE LSU C4G NETWORK (2025.69).

SITE BENCHMARK A: 600 NAIL SET IN THE NORTH SIDE OF A POWERPOLE ±150'
EAST OF THE INTERSECTION OF GAUSE BLVD. AND EDGEWOOD DR. AND ±40'
NORTH OF CENTERLINE OF GAUSE BLVD. (SEE DRAWING FOR LOCATION)

ELEVATION: 9.72'

SITE BENCHMARK B: 600 NAIL SET IN THE NORTH SIDE OF A POWERPOLE ±30'
EAST OF THE INTERSECTION OF GAUSE BLVD. AND EDGEWOOD DR. AND ±40'
NORTH OF CENTERLINE OF GAUSE BLVD. (SEE DRAWING FOR LOCATION)

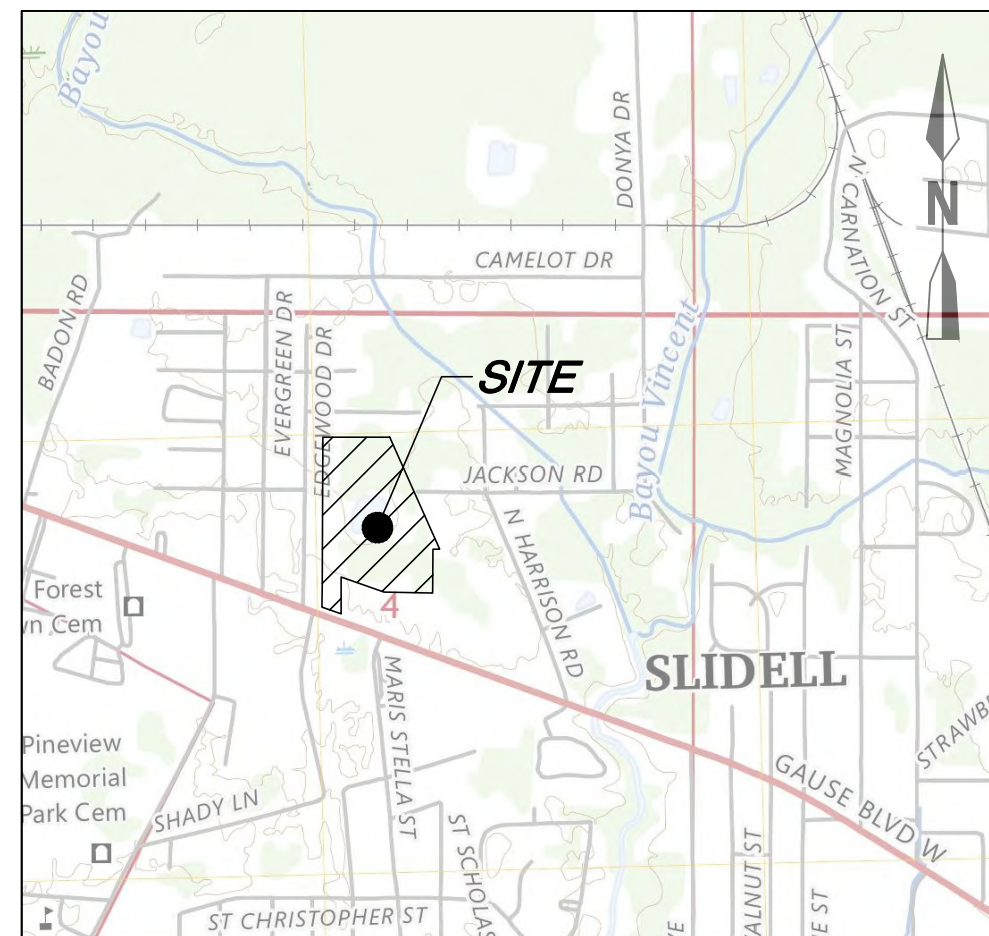
ELEVATION: 11.51'

PRELIMINARY PLAT OF SAGEFIELD SUBDIVISION

SECTION 4, TOWNSHIP 9 SOUTH, RANGE 14 EAST,
GREENSBURG LAND DISTRICT,
CITY OF SLIDELL,
ST. TAMMANY PARISH, LOUISIANA

DEVELOPER:
H12 LLC
PO BOX 3514
COVINGTON, LA

SITE INFORMATION	
R3	52
ZONING	NO. OF LOTS
ASPHALT	6,000± S.F.
ROAD SURFACE	AVERAGE LOT
50'	SIZE
ROW WIDTHS	45'
21.16 ACRES	MAX BUILDING
TOTAL AREA	HEIGHT
471,366± SQ. FT.	7.77± ACRES
GREENSPACE	TOTAL LOT AREA
	± 2.119'
	STREETS



VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION:

THAT CERTAIN PIECE OR PARCEL OF LAND, SITUATED IN SECTION 4 TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 16 OF WOODLAND PARK SUBDIVISION, SQUARE 9, A RECORDED SUBDIVISION, SAID CORNER REPORTED TO BE 871 FEET SOUTH AND 1259.5 FEET EAST OF THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 9 SOUTH, RANGE 14 EAST, SAID POINT OF BEGINNING MARKED WITH A 3/4" IRON ROD FOUND;

THENCE N89°47'43"E A DISTANCE OF 523.14 FEET TO A 1" IRON ROD FOUND; THENCE S24°20'56"E A DISTANCE OF 956.87 FEET TO A 1/4" IRON ROD FOUND; THENCE N89°09'24"W A DISTANCE OF 52.07 FEET TO A 1/2" IRON ROD FOUND; THENCE S00°02'36"W A DISTANCE OF 342.69 FEET TO A 3/4" IRON PIPE FOUND; THENCE N89°54'21"W A DISTANCE OF 191.93 FEET TO A 1/2" IRON ROD FOUND; THENCE N88°45'51"W A DISTANCE OF 188.72 FEET TO A 1" IRON PIPE FOUND; THENCE N70°50'06"W A DISTANCE OF 354.63 FEET TO A 1/2" IRON ROD FOUND; THENCE S00°29'54"E A DISTANCE OF 288.76 FEET TO A 1/2" IRON ROD FOUND; THENCE N70°59'29"W A DISTANCE OF 180.00 FEET TO A 1/2" IRON ROD FOUND; THENCE N00°29'11"E A DISTANCE OF 152.09 FEET TO A 1" IRON ROD FOUND; THENCE N00°06'37"W A DISTANCE OF 1175.08 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 21.16 ACRES AS SURVEYED BY DUPLANTIS DESIGN GROUP, P.C. PROJECT NO. 25-1595, DATED APRIL 28, 2025 AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS THAT MAY BE OF RECORD.

GENERAL NOTES:

- REFERENCES:
BOUNDARY & TOPOGRAPHIC SURVEY IN SECTIONS 30, 31 AND 37, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, DATED 08/29/2023, BY DUPLANTIS DESIGN GROUP, P.C.
- FLOOD ZONE NOTE:
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.
FLOOD ZONE: "A2"
COMMUNITY PANEL NO. 2252050420E
MAP REVISED: APRIL 21, 1999
NOTES:
CONTACT CITY OF SLIDELL FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.
- GREENSPACES:
GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- UTILITY LOCATIONS:
UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- TITLE:
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.
- ZONING:
PROPERTY IS ZONED R3.
FRONT YARD = 20'
SIDE YARD = 5'
REAR YARD = 25'
- NO CONSTRUCTION WITHIN DEDICATED SERVITUDES WITHOUT WRITTEN PERMISSION OF OWNER OF SERVITUDE.
- LOT WIDTH IS THE WIDTH OF A LOT AT THE BUILDING SETBACK LINE MEASURED PARALLEL TO THE STREET RIGHT OF WAY LINE; MINIMUM WIDTH REQUIRED 50'.

DEDICATION:
ALL STREET RIGHTS-OF-WAY SHOWN HEREON, SHALL BE DEDICATED TO THE CITY OF SLIDELL. ALL SERVITUDES SHOWN HEREON, SHALL BE DEDICATED TO THE CITY OF SLIDELL. FOR THE PURPOSES INDICATED ON THE PLAT, INCLUDING UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE BY THE PUBLIC. THE DONOR SHALL OWN AND BE RESPONSIBLE FOR MAINTENANCE OF THE DETENTION POND AND ALL COMMON, OPEN, OR GREEN SPACES.

APPROVAL:

25-1595_PPLAT_20260505.DWG
05/06/2026

PLANNING DIRECTOR - CITY OF SLIDELL

DATE

JEFF VALLEE (H12, LLC) - OWNER

DATE

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 05/20/2026

SETH J. MOSBY, P.L.S.: LA REG. NO. 5073
REGISTERED PROFESSIONAL LAND SURVEYOR



PROJECT NO. 25-1595

25-1595_PPLAT_20260505.DWG

05/06/2026

CHECKED BY SJM

DRAWN BY SLM

SHEET

1-1

Figure 7: FEMA Flood Map Panel (Effective FIRM)



Figure 8. Public Comments

From: Shelia Patterson <spatterson75@att.net>
Sent: Friday, September 11, 2026 5:13 PM
To: Building Safety <buildingsafety1@cityofslidell.org>
Cc: Councilman Arthur Laughlin <arthurlaughlin@gmail.com>
Subject: RE: Formal Objection to Unapproved Street Access/Connection – Sagefield Subdivision impacting Woodland Park Subdivision

September 11, 2026

VIA EMAIL

Slidell Planning Department
Attn: Planning and Zoning Commission / City Planner
250 Bouscaren St, Ste 203
Slidell, LA 70458

To the Slidell Planning Department and Members of the Planning and Zoning Commission,
We are writing as residents of the **Woodland Park Subdivision** to submit a formal objection regarding the proposed or attempted use of our neighborhood streets as an entrance and exit for the developing **Sagefield Subdivision**.

It has come to our attention that the developers of the Sagefield Subdivision intend to cut through and connect to our existing, quiet neighborhood streets. This access point has **not been approved** by the City of Slidell.

Furthermore, the residents of Woodland Park were never given public notice, nor were we made aware of the Sagefield Subdivision project and its severe traffic implications for our community.

Our objection is based on the following critical points:

- **Lack of Public Notification & Due Process:** As directly affected property owners, we were completely bypassed in the notification process. This deprives us of our right to review the developer's layout and voice our concerns before infrastructure changes are made.
- **Public Safety Hazards:** Our neighborhood streets were engineered strictly for local residential traffic within Woodland Park. Forcing high-volume construction and daily commuter traffic from Sagefield through our streets creates an immediate safety risk for our pedestrians, cyclists, and children.
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We respectfully request that the Slidell Planning Department immediately **halt any infrastructure connections** between Sagefield and Woodland Park. We formally demand that this matter be placed on the agenda for a public hearing before the **Planning and Zoning Commission**, allowing all affected Woodland Park residents an opportunity to review the plats and speak on the record.

Please confirm receipt of this letter and add it to the official city project file for the Sagefield Subdivision. Please also notify us immediately of any upcoming commission hearings regarding this development.

Thank you for your prompt attention to this urgent matter.

Sincerely,

Shelia Patterson
514 Edgewood Dr.
Phone: 985-643-4630

Slidell, LA 70460

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Planning Department

Staff Report

Case No. DEXCP 2026-0005

Design Exception for Design Standards
for Light Industrial Construction at
1951 Town Center Parkway

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1951 Town Center Parkway (**Figure 1**)

Owner: CCB Holdings, L.L.C.

Applicant: Brossett Companies

Zoning: IT1 -Light Innovation and Technology (**Figure 1**)

Request: Design Exception from Unified Development Code Chapter 8 Section 8.5.4.A; 8.5.6; 8.5.7C; :

PC Meeting: 9/21/2026

CURRENT CONDITIONS

1. The property is a 13.10 acre parcel located at 1951 Town Center Parkway and is zoned IT1 Light Innovation & Technology. (**Figure 1**)
2. The applicant has requested a Design Exception for the proposed construction of a Functional Dependent Design for a warehouse and distribution facility (**Figure 2**). As permitted in Section 4.10 of the Unified Development Code (UDC),

"...the Planning Commission is empowered to review and approve design exceptions upon review and recommendation of the Director of Planning and after conducting a public hearing on the matter. Examples for when design exceptions may be appropriate include specialized exterior cladding for energy efficient design and building layouts that do not have clearly defined front, side and rear elevations or where the functional design requirements for the building's intended use make it difficult to adhere to the strict requirements of the design guidelines."

3. UDC Section 8.5.4.A states that:

A. *Elevations. Required percentages and types of façade surfaces are provided as follows:*

1. *Front elevation. The building elevation(s) fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.*
2. *Side elevation. Decorative building materials are required on side elevations as follows:*
 - a. *Street facing. A side elevation fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.*
 - b. *Non-street facing. An interior side or any other side elevation that does not front on or most directly face public or private street right-of-way, a street easement, access easement, drive-through lane, or parking lot shall be*

constructed of or faced with decorative building material on 25 feet or 25 percent of the façade elevation, whichever is greater, commencing at the common corner with the front or street facing elevation. The remaining portion of the façade elevation shall be constructed of or faced with limited or non-decorative materials with Director of Planning approval.

- c. *Abutting parking lot or drive-through lane. A side elevation that abuts a drive-through lane or a parking lot with a parking module width of 40 feet or more on the same or an adjacent or abutting property shall be constructed of or faced with decorative building material on 100 percent of the façade elevation located along the portion of the building adjacent to the parking lot or drive through lane.*
- d. *Other conditions. All other elevations may be constructed of or faced with limited or non-decorative materials on 100 percent of the façade elevation.*

4. UDC Section 8.5.6 states that:

Overhead doors providing access to service or storage bays shall be designed or painted to match the wall façade and shall include windows.

5. UDC Section 8.5.7.C states that:

C. *Architectural features on elevations.*

- 1. *Front elevation. The front elevation shall have architectural features that animate the façade along its entire length spaced at intervals of not more than 100 feet in horizontal distance. These features shall include wall sconces, display windows, faux windows, brick patterning, entry areas, towers, pilasters, columns, horizontal and vertical offsets, and/or other elements that create a pattern of light and shadow on the building wall.*
- 2. *Side and rear elevations. Side and rear elevations shall have at least one of the following for each 100 feet of horizontal distance: wall sconces, display windows, entry areas, towers, pilasters, columns, horizontal and vertical offsets, and other elements that create a pattern of light and shadow on the building wall.*

6. UDC Section 8.5.7.D states that:

Transparency. Front elevations must have transparent windows or doors composing a minimum of 50 percent of the total area of the front facade, unless the Director of Planning determines that the required transparency is inconsistent with the operational requirements of the building.

7. UDC Section 9.3.F states that:

Buffer landscape area.

- 1. *Applicability. A buffer includes both a landscape area and an opaque fence or wall.*
 - a. *A required buffer and the entity responsible for the buffer occurs in the following conditions, whenever the conditions for permitting require a landscape plan:*
 - i. *Between a multi-family development and any existing single-family use.*
 - ii. *Between a commercial or mixed use development and any existing single-family or multi-family use.*

- iii. *Between an industrial development and any existing single-family, multi-family, mixed use, or commercial use.*
- 2. *Planting requirement.*
 - a. *Must consist of a minimum of 4 large trees, 4 small trees, and 20 shrubs for every 1,000 square feet of landscape area.*
 - b. *All trees and shrubs must be evergreen and dispersed evenly along the shared property boundary to provide continuous screening.*
- 3. *Fence requirement.*
 - a. *The site must include an opaque fence at least 6 feet tall to block noise, light, and particulates.*
 - b. *The Department of Planning may require a taller fence and sound abatement materials to increase the buffer effect when light, noise, or particulates from the more intense land use are likely to pass over a 6-foot fence without hindrance.*
 - c. *In the event that there exists on the property in either zone a fence meeting these requirements, said fence being within 12 inches of the abutting property lines, no additional fence will be required to be built.*
- 4. *Location and dimensions.*
 - a. *The buffer landscape area must extend along the shared property line boundary with the less intense use(s) as identified in this Section.*
 - b. *The width of the buffer landscape area shall be a minimum of 10 feet and maximum of 25 feet from the property boundary toward the interior of the property.*

8. UDC Section 9.3.G states:

Open space landscape area - Industrial, commercial, and multi-family sites.

- 1. *Planting requirement.*
 - a. *For every 1,000 square feet of landscape area there shall be a minimum of 4 large trees, 5 small trees, and 15 shrubs.*
- 2. *Location and dimensions. Open space landscape areas may be:*
 - a. *The project site must retain or provide 10 percent of the overall site square footage as open space, in addition to required buffer, parking, and street landscape areas.*
 - b. *Established by creating planting areas along a building façade, between a building and a parking area, or alongside non-buffered property lines; or*
 - c. *Made a part of other required landscape areas, but in no case shall the planting space be counted as both open space landscaping and another required landscape areas; or*
 - d. *Elsewhere on the site.*
 - e. *The minimum size of any planting area shall be 25 square feet.*
- 3. *Exceptions.*
 - a. *The Department of Planning can approve retention of existing vegetation in lieu of removing and replanting areas, provided that the existing vegetation consists*

of a mix of non-invasive trees and shrubs and may require additional planting of trees and shrubs to meet the minimum planting requirements.

- b. Stormwater drainage improvements may be counted as open space provided improvements consist of a live vegetative covering and include large or small trees and/or shrubs.*

9. UDC Section 9.3.I states:

Parking landscape area.

- 1. Applicability. Required for new construction and substantial improvement of industrial, commercial, and multifamily properties with ten or more parking spaces. Parking lots shall consist of both endcap planting areas at the end of each parking row of 12 parking spaces and interior island planting areas disbursed throughout the parking lot for maximum shade potential for each 12 parking spaces.*
- 2. Planting requirement. Both endcaps and interior island planting areas shall consist of at least 1 large tree and 5 shrubs. Areas not planted with trees or shrubs must be planted with a living vegetative covering.*
- 3. Location and dimensions.*
 - a. End cap. The endcap planting area shall consist of a 100 square foot planting area at the end of each row of 12 parking spaces. When 2 rows of parking abut each other, the 100 square foot endcaps shall be combined into one endcap with a minimum planting area of 200 square feet.*
 - b. Interior island. The interior island planting area must include a minimum of 200 square feet of planting area for every 12 parking spaces and be dispersed evenly throughout the parking area to provide a consistent shade canopy.*
 - c. Placement. Trees shall be planted where trunks are a minimum of 30 inches from all curbs, bollards, rear guards, or other permanent parking lot traffic control elements.*
- 4. Exceptions. The Department of Planning may approve alternative layouts of the endcap and interior island planting areas to:*
 - a. Preserve a heritage or protected tree;*
 - b. Retain a cluster of large and small trees and shrubs;*
 - c. Accommodate best management practices for stormwater management; or*
 - d. Achieve a holistic, integrated landscape plan for the site.*

10. UDC Section 9.3.J states:

Street landscape area.

- 1. Planting requirement – depth up to 15 feet. For every 40 linear feet of street frontage (or fraction thereof) a minimum of 1 large tree and 1 small tree must be provided. For every 10 linear feet of street frontage (or fraction thereof), 1 shrub must be provided.*
- 2. Planting requirement – depth more than 15 feet. For every 40 linear feet of street frontage (or fraction thereof) a minimum of 2 large trees and 2 small trees must be*

provided. For every 10 linear feet of street frontage (or fraction thereof), 2 shrubs must be provided.

3. *Location and dimensions.*

- a. *Must span the entire property frontage along a property frontage at the boundary between any public right-of-way (ROW) and the private property, not inclusive of the public ROW.*
- b. *The depth of the street landscape area shall be a minimum of 10 feet and maximum of 25 feet from the property boundary toward the interior of the property.*

STATEMENT OF FUNCTIONAL NEED BY APPLICANT

The proposed building utilizes tilt-up concrete construction and is designed to accommodate warehouse, distribution, truck loading and related industrial operations. The site must accommodate regular tractor-trailer circulation, backing movements, loading and unloading activity, fire access and other operational requirements. The building is also positioned substantially back from the public right-of-way, with architectural enhancements concentrated at the primary entrances and portions of the building most visible from Town Center Parkway.

UDC Section 8.5.4.A – Façade Requirements

Requested Exception

The applicant requests approval of the reinforced tilt-up concrete panel treatment shown on the submitted elevations for portions of the front elevation and the building end walls, with enhanced architectural treatment concentrated at the building entrances and publicly visible areas.

No exception is requested for the rear loading elevation.

Basis for Request

The tilt-up concrete wall panels form the exterior structural wall system of the building and are integral to the construction method used for modern Class A industrial facilities.

The building's primary entrances are enhanced through storefront glazing, architectural metal accents, changes in massing as illustrated on the submitted rendered elevations.

Only a limited portion of the building frontage is directly exposed to Town Center Parkway; the remainder is screened by distance, site orientation and adjoining development.

Applying commercial façade-material percentages uniformly across the entire exterior wall system would not reflect the functional design or construction method of the proposed warehouse. The applicant therefore requests approval of the façade treatment shown on the submitted elevations.

UDC Section 8.5.6 – Service Bay Door Windows

Requested Exception

Service bay and loading-door glazing will be provided as shown on the submitted architectural elevations and door schedules.

The applicant requests approval of the service-bay and loading-door glazing configuration shown on the submitted elevations and door schedules as part of this Functional Dependent Design.

Basis for Request

The rear elevation functions as the building's active loading and service area. Dock doors, drive-in doors, dock equipment, trailers and tractor-trailer movements occur continuously along this elevation.

Any glazing or architectural treatment associated with these doors must therefore remain compatible with the durability, security and operational requirements of an active warehouse loading area.

UDC Section 8.5.7.C – Architectural Features

Requested Exception

The applicant requests relief from the prescribed architectural-feature intervals along a portion of the front elevation as well as the full rear loading elevation and the building end walls, with architectural features provided on the front elevation office portions as shown on the submitted elevations/renderings.

Basis for Request

The rear elevation is a functional loading face designed around a repetitive system of dock doors, drive-in doors, dock equipment and trailer positions. Tractor-trailers must be able to approach, maneuver and back directly to the building.

Architectural projections or similar features placed at regular intervals along this elevation could conflict with loading operations, dock equipment, trailer positions and required maneuvering areas.

The building end walls do not contain public entrances. The building's architectural emphasis is therefore appropriately concentrated along the front elevation and at the primary entrance locations.

Along the front and side façades, the tilt-up panel system produces long, uninterrupted wall planes between the enhanced entrance areas. Within these wall planes, relief and variation are achieved through panel jointing and reveal patterns, variation in panel height and parapet line, and changes in color and finish, rather than through projections, recesses or similar features at the prescribed intervals.

The building is speculative in nature and is being constructed without an identified end user. The exterior color palette of white and grey was selected for that reason. These are tasteful and neutral tones that appeal to a wide variety of tenants and allow the building to accommodate a broad range of future users without requiring wholesale exterior modification at the time of lease-up. A more prescriptive or heavily articulated façade treatment would narrow the building's marketability and would likely be altered by an incoming tenant.

UDC Section 8.5.7.D – Transparency

Requested Exception

The applicant requests approval of the transparency and glazing configuration shown on the submitted elevations in lieu of the otherwise applicable minimum transparency percentage.

Basis for Request

The proposed facility is primarily a warehouse and distribution building rather than a retail or conventional office building. The majority of the interior is intended for high-bay warehousing, storage and distribution.

Providing glazing across a substantial portion of the warehouse wall would conflict with usable warehouse wall area, future rack and storage flexibility, cargo security and the performance of the building envelope.

Accordingly, transparency is concentrated at the portions of the building where it provides the greatest architectural and functional benefit: the occupied office components and primary employee and visitor entrances.

UDC Section 9.3.F – Buffer Landscape Area

Requested Exception

The applicant requests relief from the prescribed planting quantities within the north buffer area, identified on the submitted landscape plan as the buffer abutting residential property, which cannot be fully installed because of the existing Fremaux Town Center drainage canal and associated drainage and maintenance constraints.

Along this 596-linear-foot buffer, Section 9.3.F requires 24 large trees, 30 small evergreen trees and 90 shrubs within a minimum ten-foot landscape depth. The submitted landscape plan provides a twenty-five-foot buffer depth, two and one-half times the required depth, and 26 large trees, exceeding the required large-tree count. Relief is therefore requested only from the prescribed small-tree and shrub quantities.

Basis for Request

The drainage canal and associated maintenance area must remain accessible and functional. Installation of the full quantity of small trees and shrubs otherwise required within this area would conflict with the drainage improvements or the ability to access and maintain those improvements.

The proposed landscape plan therefore provides landscaping to the extent practicable while preserving the operation, drainage capacity and maintenance accessibility of the existing canal.

UDC Section 9.3.G – Open Space Landscape Area

Requested Exception

The applicant does not request relief from the required open-space area. The project provides at least the required ten percent open-space landscape area.

The applicant requests relief only from the prescribed planting density within that open-space area, with landscaping to be provided in the quantities and locations shown on the submitted landscape plan.

Basis for Request

Ten percent of the approximately 15.25-acre site represents approximately 66,480 square feet of required open space. The current landscape design provides approximately 77,865 square feet, exceeding the minimum open-space area requirement.

Strict application of the planting-density formula would require tree spacing that does not provide sufficient room for many large tree species to develop healthy mature canopies and root systems.

In addition, a portion of the open-space landscape area is occupied by the site's stormwater detention basin, as shown on the submitted site and landscape plans. The basin floor and side slopes must remain free of trees and substantial plantings in order to preserve the basin's design storage volume, maintain slope stability and embankment integrity, and allow routine mowing, inspection and maintenance access. Planting material that the density formula would otherwise require within this portion of the open space therefore cannot be installed.

The proposed landscape design retains more than the required amount of open space while distributing landscape material in a manner that provides sufficient room for healthy tree growth and remains compatible with site drainage, circulation, fire access and warehouse operations.

UDC Section 9.3.I – Parking Landscape Area

Requested Exception

The automobile parking field will provide landscape islands and planting areas as shown on the submitted landscape plan.

Relief from the landscape requirements applicable to the conventional automobile parking area is requested only to the extent specifically shown and identified on the submitted plans.

The submitted landscape plan provides 17 end-cap islands, 17 parking-lot trees and 87 shrubs within the automobile parking field, exceeding the prescribed five shrubs per island. The applicant requests that the Planning Commission approve the parking landscape design shown on the submitted landscape plan as part of the overall Functional Dependent Design.

The applicant requests confirmation and approval that landscape islands and trees are not required within the rear truck court, dock apron, trailer maneuvering and loading areas.

Basis for Request

This area is an active truck court used by tractor-trailers to circulate, turn, stage and back into loading docks. These operations require large, unobstructed pavement areas and defined truck maneuvering envelopes.

Landscape islands or trees placed within these areas would create fixed obstructions within active tractor-trailer circulation and backing paths and could interfere with safe and efficient loading operations.

The proposed site design therefore concentrates parking-lot landscaping within the automobile parking field while maintaining the rear truck court and dock areas as unobstructed operational surfaces.

UDC Section 9.3.J – Street Landscape Area

Requested Exception

Along the 268 linear feet of frontage on Town Center Parkway, Section 9.3.J requires a ten-foot landscape depth with 9 large trees, 9 small trees and 27 shrubs. The submitted landscape plan provides a twenty-five-foot landscape depth and 36 shrubs, each exceeding the requirement, together with 7 large trees and 7 small trees.

The applicant requests relief from the prescribed large- and small-tree counts, and requests that the Planning Commission approve the street landscape design shown on the submitted landscape plan as part of the overall Functional Dependent Design.

Basis for Request

The submitted street landscape area is two and one-half times the required depth, providing more landscape area along Town Center Parkway than the ordinance requires, and the provided shrub count exceeds the requirement. Tree quantities are distributed at spacing intended to allow healthy mature canopy development, consistent with the approach described in Section 6 above.

RECOMMENDATION

The Planning Director, after reviewing the proposed construction plans, finds the request complete and appropriate.

The requested design exceptions are limited to those areas where strict application of the City's commercial design standards conflicts with the functional requirements of tilt-up warehouse construction, tractor-trailer circulation and loading operations, existing drainage infrastructure, or appropriate spacing for long-term landscape growth.

The applicant has concentrated architectural treatment at the primary entrances and publicly visible portions of the building, landscaped the automobile parking lot, and distributed landscape material throughout the site where it can be installed without interfering with essential building, truck circulation, drainage and maintenance functions.

FIGURES

Figure 1. Project Location & Zoning Map

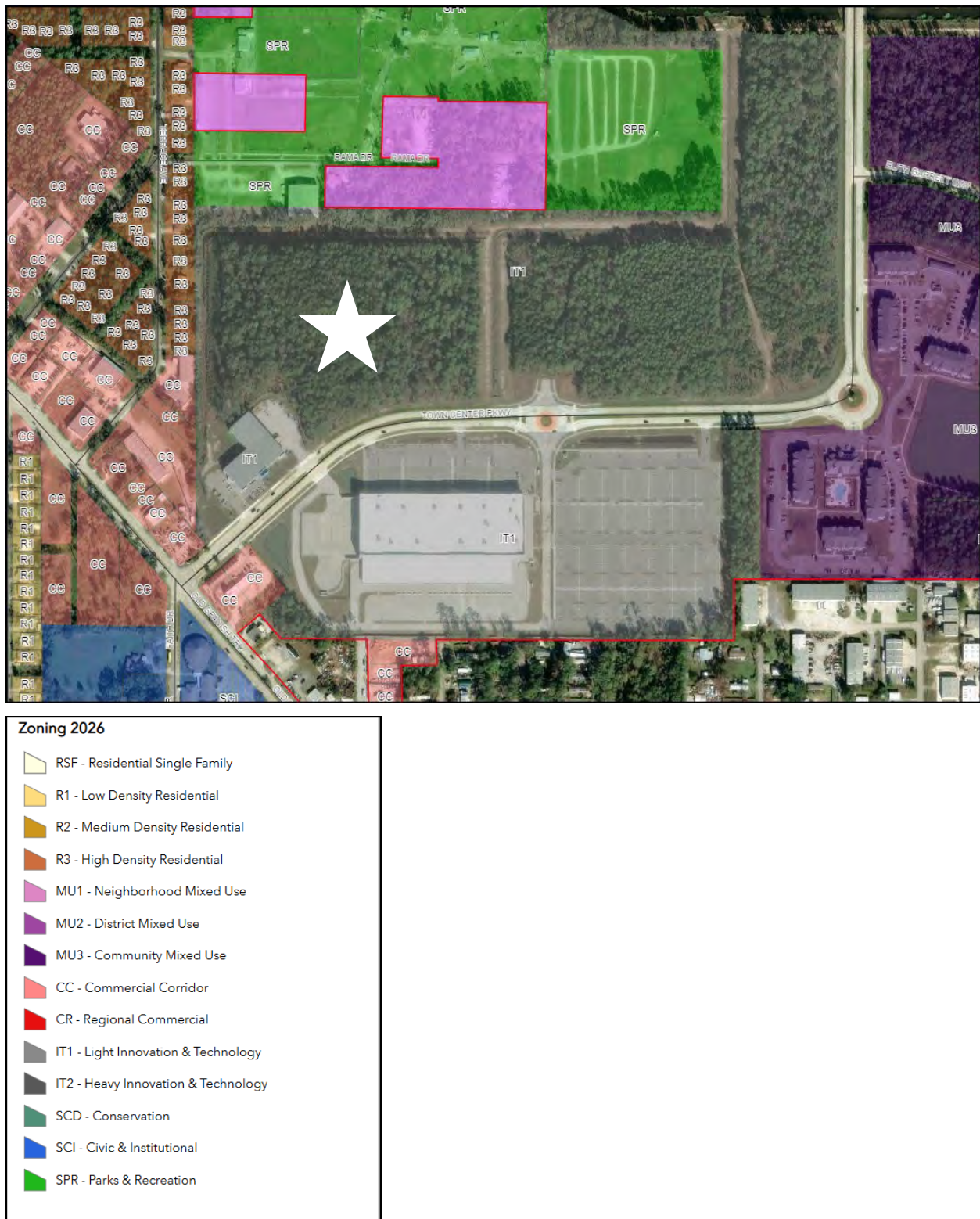
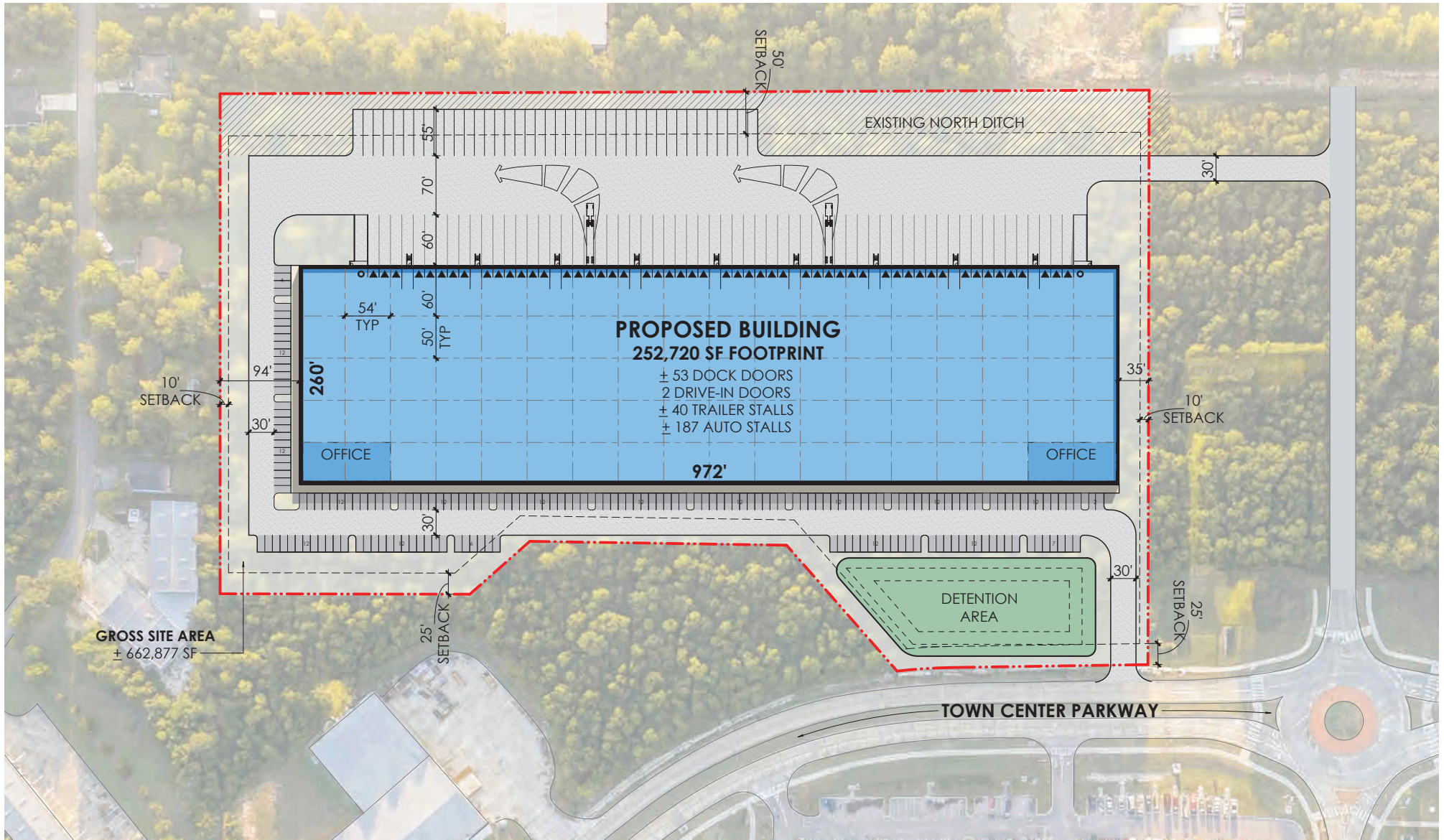


Figure 2. Site Plan, Architectural Renderings, and Landscape Plan

(see following pages)



SCALE 1" = 50'
0 25 50 100 200



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

1951 Town Center Parkway, Slidell, LA 70458 | Functional Dependent Design



ARCO | 142 DESIGN GROUP

08.25.2026 | PSPNE 26-0011 | JF

PRELIMINARY SITE PLAN - PHASE 1

BROSSETT - FREMEAUX | TRACTS 3-B, FREMAUX SUBDIVISION SLIDELL, ST. TAMMANY PARISH, LOUISIANA





ARCO DESIGN/BUILD | 142 DESIGN GROUP
PSPNE_26-0011 | 05/15/2026

1951 Town Center Parkway, Slidell, LA 70458 | Functional Dependent Design

CONCEPTUAL ENTRANCE DESIGN

BROSSETT DEVELOPMENT





This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.



ARCO DESIGN/BUILD | 142 ARCHITECTURE
08.24.2026 | PSPNE 26-0011 | JF

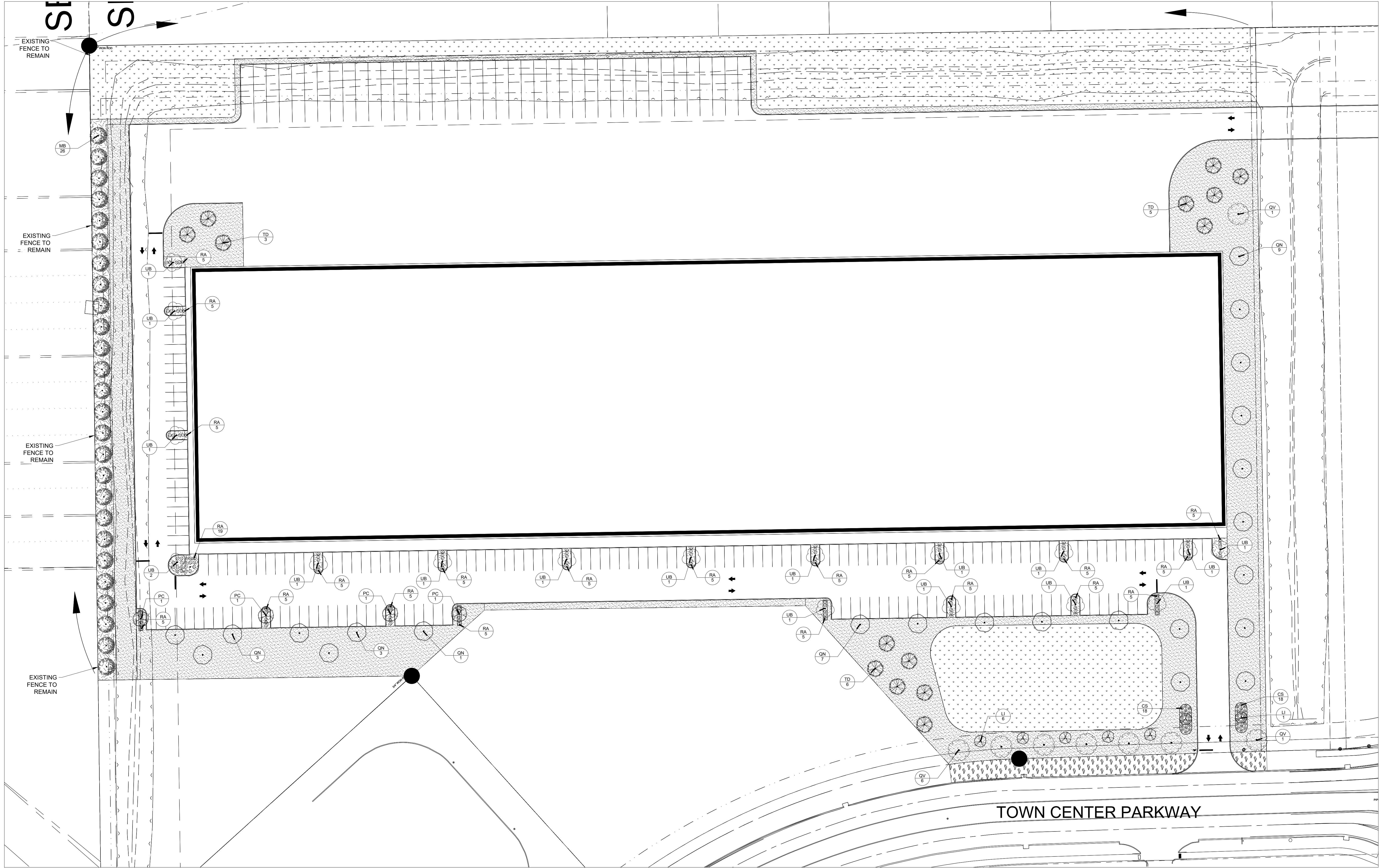
1951 Town Center Parkway, Slidell, LA 70458 | Functional Dependent Design

AERIAL RENDERING

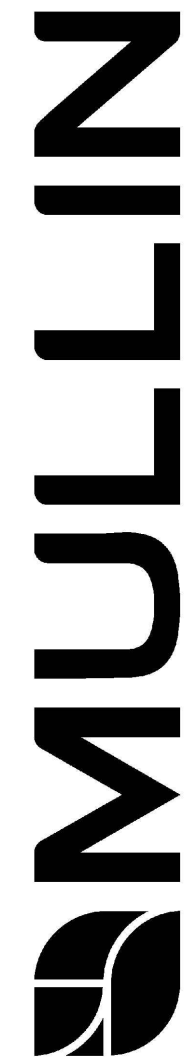
FREMEAUX | BROSSETT DEVELOPMENT



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1951 TOWN CENTER PARKWAY
SLIDELL, LA.

FREMAUX TOWN CENTER
PROPOSED WAREHOUSE

PLANT SCHEDULE

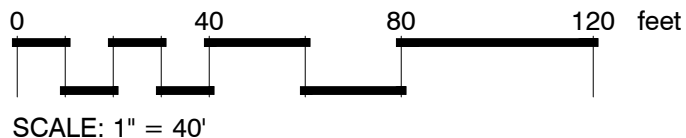
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
LARGE TREES						
	MB	26	Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia	Gallon or B&B	2"-Cal.	8'-10' ht.
	PC	4	Pistacia chinensis / Chinese Pistache	Gallon or B&B	2"-Cal.	8'-10' ht.
	QN	23	Quercus nuttallii / Nuttall Oak	Gallon or B&B	2"-Cal.	8'-10' ht.
	QV	8	Quercus virginiana / Southern Live Oak	Gallon or B&B	2"-Cal.	8'-10' ht.
	TD	14	Taxodium distichum / Bald Cypress	Gallon or B&B	2"-Cal.	8'-10' ht.
	UB	18	Ulmus parvifolia 'UPMTF' / Bosque® Lacebark Elm	Gallon or B&B	2"-Cal.	8'-10' ht.
SMALL TREES						
	LI	7	Lagerstroemia indica / Crape Myrtle	Gallon or B&B	1.25" Cal.	6'-8' ht.

PLANT SCHEDULE

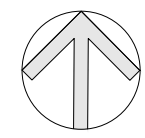
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
SHRUBS						
	CS	36	Camellia hiemalis 'Shishigashira' / Shi Shi Gashira Camellia	7-Gal.		
	RA	119	Rhaphiolepis indica 'Alba' / White Indian Hawthorn	3-Gal.		
GROUND COVERS						
	SEED	69,910 sf	Cynodon dactylon / Bermuda Grass	HydroSeeding		
	ROW	4,556 sf	Cynodon dactylon '419 Hybrid' / 419 Hybrid Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	SOD	79,724 sf	Cynodon dactylon '419 Hybrid' / 419 Hybrid Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	MULCH	12,714 sf	Hardwood Mulch / Mulch Area	Hardwood Mulch	4" Depth	

A

LANDSCAPE PLAN



FOR REVIEW | 08-25-2026



REVISIONS

DRAWN BY: AB3
SHEET SIZE: 30 X 42

SHEET NUMBER

LS - 1
FUNCTIONAL DEPENDENT
DESIGN
LANDSCAPE PLAN



Planning Department

Staff Report

Case No. DEXCP 2026-0006

Design Exception for Design Standards for Commercial Construction at
1350 Town Center Parkway

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1350 Town Center Parkway (**Figure 1**)

Owner: Stirling Levis II

Applicant: Mark Salvetti, Stirling Properties

Zoning: CR Regional Commercial (**Figure 2**)

Request: Design Exception from Unified Development Code (UDC) Article 8 Section 8.2.8.B.4; Section 8.5.4.A.1; Section 8.5.4.D.; Section 8.5.7.C.2; Section 8.5.7.D.; Article 9 Section 9.3.G.2; and Section 9.3.I.

PC Meeting: September 21, 2026

CURRENT CONDITIONS

1. The property identified as 1350 Town Center Parkway is zoned CR Regional Commercial. (**Figure 2**)
2. The developer and retailer are requesting approval of a Functional Dependent Design for a new retail store (Target) in Fremaux Town Center.
3. UDC Section 8.2.8.B.4 states that: A building façade with a public entrance in a C district shall have a maximum of up to two attached (wall) signs. The two proposed facades with a public entrance each have over two attached (wall) signs. (**Figure 3**)
4. UDC Section 8.5.4.A.1 states that: The building elevation(s) fronting on or mostly directly facing private or public street right-of-way, a street easement, or access easement shall be constructed of or faced with decorative building material on 100 percent of the façade elevation, excluding doors. The proposed street-facing front will be the (west) Towne Center Parkway façade and is a combination of decorative materials and architectural elements. (**Figure 3**)
5. UDC Section 8.5.4.D states that: Exterior Insulation and Finish System (EIFS) is a prohibited building material for exterior walls, siding, or cladding. The west-facing façade (front) and north-facing side façade include EIFS overhangs at 20'-4" above grade. (**Figure 3**)
6. UDC Section 8.5.7.D states that: front elevations must have transparent windows or doors composing a minimum of 50 percent of the total area of the front façade, unless the director of planning determines that the required transparency is inconsistent with the operational requirements of the building. The front façade includes very limited placement of glazing. (**Figure 3**)
7. UDC Section 9.3.G.2 states that: commercial open space landscape areas must retain or provide ten percent of the overall site square footage as open space, in addition to required buffer, parking, and street landscape areas. The proposed design deviates from the ten percent open space requirement. (**Figure 3**)
8. UDC Section 9.3.I. states that: new construction with ten or more parking spaces to consist of both endcap planting areas at the end of each parking row and interior island planting areas disbursed throughout the parking lot for maximum shade potential. Both endcaps and interior island planting areas shall consist of at least one large tree and five shrubs. Areas not planted with trees or shrubs must be planted with a living vegetative covering. The proposed design does not include landscaping

in the shaded customer drive-up area on the west (front) façade nor the truck loading dock on the south façade. **(Figure 3)**

9. Elevations, landscape, and site plan for the construction of the new retail store (Target) **(Figure 3)** have been reviewed by the Planning Director.

As permitted in Section 4.10 of the Unified Development Code, "...the Planning Commission is empowered to review and approve design exceptions upon review and recommendation of the Director of Planning and after conducting a public hearing on the matter. Examples for when design exceptions may be appropriate include specialized exterior cladding for energy efficient design and building layouts that do not have clearly defined front, side and rear elevations or where the functional design requirements for the building's intended use make it difficult to adhere to the strict requirements of the design guidelines."

STATEMENT OF FUNCTIONAL NEED BY APPLICANT

10. Ensuring full compliance with Section 8.2.8.B.4 is not supportive of the facility purpose or design; the sign placement is driven by the building's operational layout and architectural composition rather than by a uniform distribution of signs on each façade. The proposed locations are intended to enhance guest orientation, improve identification from adjacent streets and parking areas, and complement the building's modern architectural design while minimizing visual clutter. The overall sign program is integrated with the building architecture and is consistent with the functional needs of the development. There are 7 signs proposed on the development (including one on the freestanding Drive Up canopy along the side of store). **(Figure 3)**
11. Ensuring full compliance with Section 8.5.4.A.1 is not supportive of the facility purpose or design; the combination of concrete panels, architectural form-liner pattern, brick as accent materials, painted finish variations, storefront glazing, and branded architectural features provide visual interest and a high-quality finish that creates a cohesive street-facing façade with no exposed or unfinished wall surfaces. These treatments ensure the building presents an attractive appearance to adjacent public and private right-of-way while maintaining consistency with the overall architectural design of the development. **(Figure 3)**
12. Ensuring full compliance with Section 8.5.4.D is not supportive of the facility purpose or design; EIFS is limited to the cantilevered storefront architectural feature on the north and east elevations where its lightweight construction allows the overhang to be supported without exterior columns, not as the primary exterior wall cladding. The use of EIFS is additionally limited to a height of 20'-4" above finish grade.
13. Ensuring full compliance with Section 8.5.7.D is not supportive of the facility purpose or design; the retailer considers the North Elevation to be the front elevation which incorporates a continuous aluminum storefront glazing system at the primary customer entrance, providing a highly transparent pedestrian-oriented façade. The glass storefront and entrance doors establish a strong visual connection between the interior and exterior, enhance customer visibility, and create an inviting entry experience. The transparent storefront is complemented by the primary entrance tower and adjacent architectural elements, which together contribute to an active and visually engaging front elevation. **(Figure 3)**
14. Ensuring full compliance with Section 9.3.G.2 is not supportive of the facility purpose or design; the proposed design deviates from the ten percent open space requirement to accommodate critical site functions, including maintaining adequate visibility to the market, preserving required site-triangle sightlines for vehicular and pedestrian safety, and providing necessary access to the pond for ongoing maintenance. The design incorporates landscaping to the greatest extent reasonably practicable while

balancing these operational and safety requirements and maintaining an attractive, functional site. Deviation also considers the long-term health and viability of the proposed vegetation, as certain areas may not provide adequate growing conditions to support healthy, sustainable plant growth over time. Design incorporates consistent intent with existing Phase 1 and Phase 2 of Fremaux Shopping center to maintain a uniform development. The development and necessary parcel resubdivision incorporate a separate parcel for the existing Historic Native/African American Cemetery. The subject development incorporates 16% green space overall for the final lot of record. **(Figure 4)**

15. Ensuring full compliance with Section 9.3.I is not supportive of the facility purpose or design; The proposed design includes a west-facing drive up with a canopy structure including 13 parking spaces with adjacent walk aisle allowed for 12 of the spaces. The canopy provides shade and weather protection for both team members and guests. Additionally, landscaping tends to be unsuccessful in shaded and walkable areas. **(Figure 3)**

ASSESSMENT OF REQUEST

The Planning Director finds the following regarding the Design Exception request:

- A. Given the size of the retail facility and the need for clear wayfinding before a customer even enters the site, the proposed installation of 7 signs for the development beyond the allowances of the requirements in UDC Section 8.2.8.B.4 are not excessive and are supportive of the facility purpose and design.
- B. Given the construction method of using tilt-up panels and the proposed architectural finish materials ensure the building presents an attractive appearance to adjacent public and private right-of-way while maintaining consistency with the overall architectural design of the Fremaux Town Center development in compliance with Section 8.5.4.A.1.
- C. The use of EIFS, prohibited in Section 8.5.4.D, is limited to a height of 20'-4" above finish grade and its use is understandable in the need for creating the appearance of mass without the associated weight; prior to the adoption of the UDC EIFS was allowed when used no closer than 12' to adjacent grade. The finished appearance will maintain consistency with the overall architectural design of the Fremaux Town Center development and the applicant has been warned about the use of EIFS and potential for termite damage if allowed.
- D. Regarding compliance with Section 8.5.7.D, the applicant has provided an engaged and varying façade along Town Center Parkway that does not include sufficient transparency. The retailer considers the North Elevation to be the front elevation which incorporates a continuous aluminum storefront glazing system at the primary customer entrance, providing a highly transparent pedestrian-oriented façade. The front or east façade is primarily a place for vehicular traffic and the drive-up pick-up area, which is consistent with the lack of or need for pedestrian oriented entry features.
- E. The applicant is technically providing sufficient open space in compliance with Section 9.3.G.2 but due to stormwater management needs, a large portion of the required open space is not available for vegetative cover and the applicant cannot meet the required number of trees and shrubs. The design incorporates landscaping to the greatest extent reasonably practicable while balancing these operational and safety requirements and maintaining an attractive, functional site.
- F. The parking row associated with the east façade canopy does not require shade trees or landscaping to comply with the intent of Section 9.3.I.

RECOMMENDATION

The Planning Director, after reviewing the proposed construction plans, has found the proposed design is a functional dependent design that, while not unique, does have specific visibility, structural and material choices, stormwater management needs, security, and interior space requirements as a very large freestanding retail facility that will need to be reflected in the construction as requested. The use of EIFS is never recommended but in this case the use is limited to more than 20' above grade and allows for a more pedestrian friendly and visually engaging entry to the facility. The Planning Director recommends approval of the Design Exception as requested.

FIGURES

Figure 1. Location Aerial

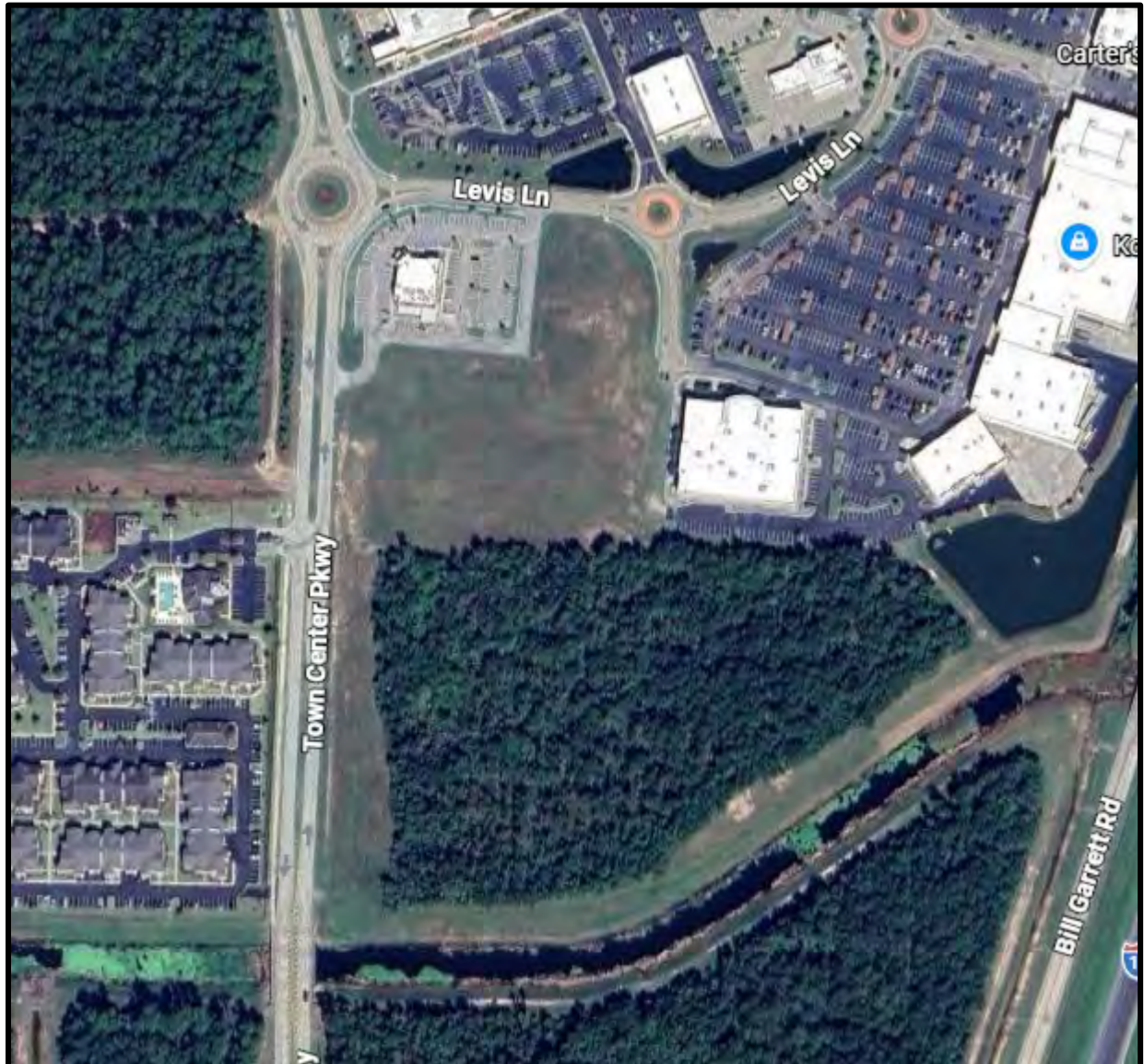


Figure 2. Site Zoning



Figure 3. Architectural Elevations

(following pages)

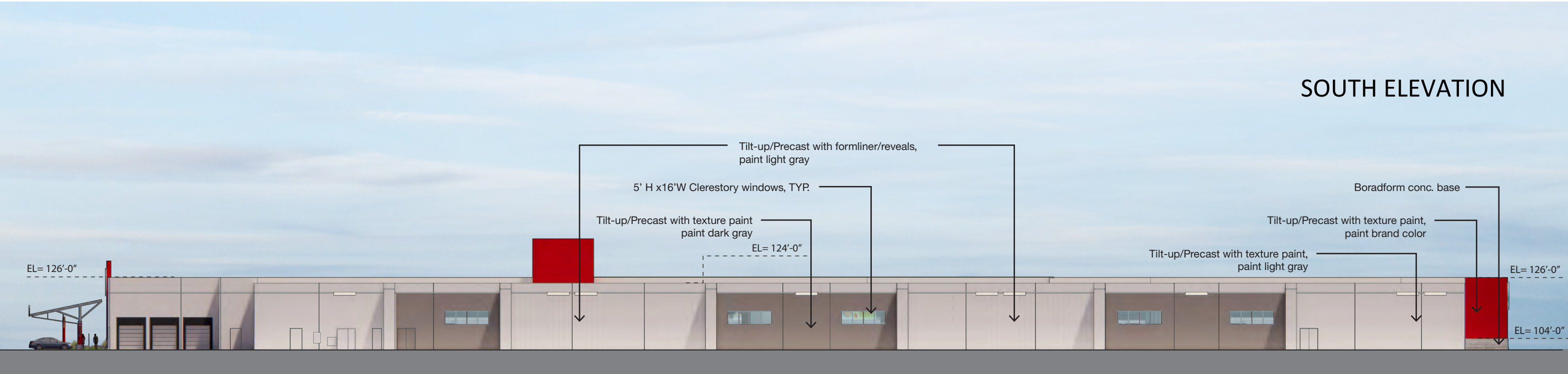
Functional-Dependent Design

NORTH ELEVATION

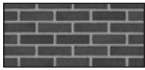


Front Elevation

SOUTH ELEVATION

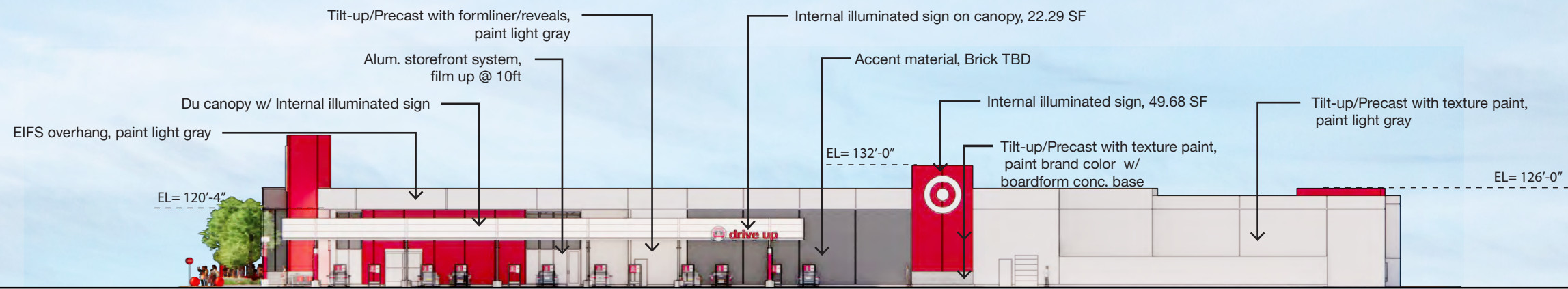


Rear Elevation

Color Key		C-1 Target Red/ Brand Color		C-218 Dovetail/ Dark Gray		Accent Materials / Brick-TBD		Board Form Cast-in-place Conc.
		C-216 Eider White/ Light Gray		Formliner/ stickwork reveals		Paint color to match adj brick-TBD		

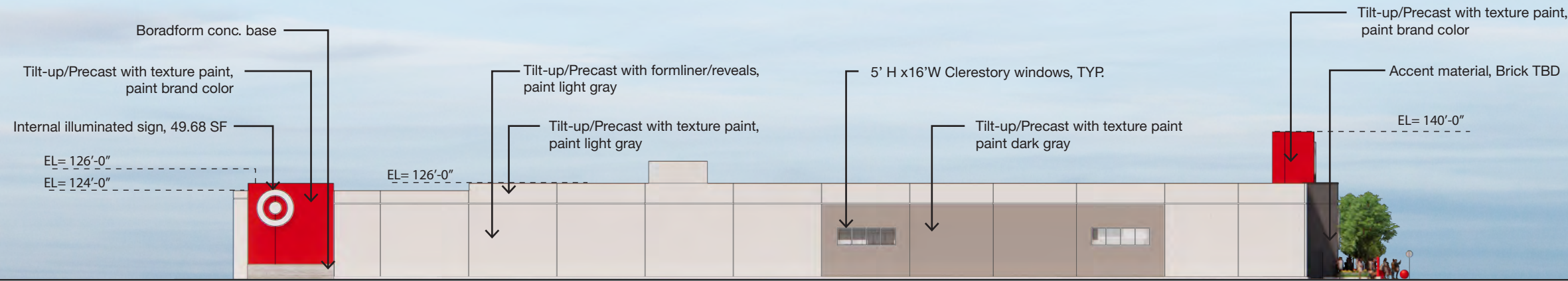
Functional-Dependent Design

WEST ELEVATION



Right Elevation(Town Center Parkway)

EAST ELEVATION



Left Elevation

Color Key



C-1 Target Red/
Brand Color



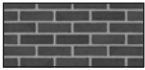
C-216 Eider White/
Light Gray



C-218 Dovetail/
Dark Gray



Formliner/
stickwork reveals



Accent Materials /
Brick-TBD



Paint color
to match adj brick-TBD



Board Form Cast-in-place Conc.

Functional-Dependent Design

NORTH ELEVATION



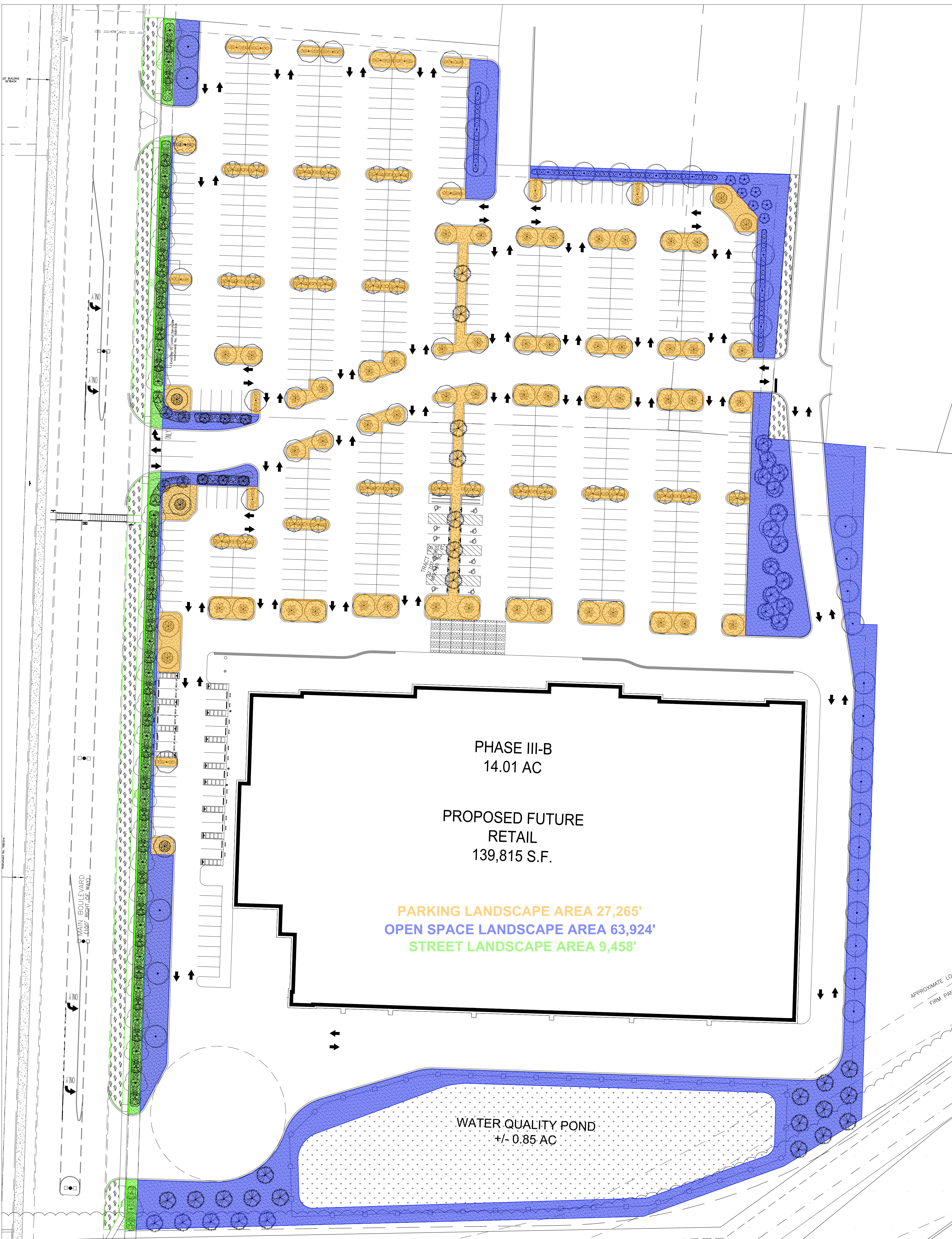
Functional-Dependent Design

NORTH & EAST ELEVATIONS



Figure 4. Landscape Sketch

(see following page)



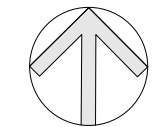
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562 CLAYTON COURT
SLIDELL, LOUISIANA 70461
BARCIADESIGNS@GMAIL.COM
(985) 960-0429

PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
<u>LARGE TREES</u>						
	QS	31	Quercus shumardii / Shumard Oak	Gallon or B&B	2"-Cal.	8'-10' ht.
	TA	41	Taxodium ascendens / Pond Cypress	Gallon or B&B	2"-Cal.	8'-10' ht.
<u>PALM</u>						
	SS	13	Sabal palmetto / Cabbage Palmetto	B&B	4' C.T.	8'-10' ht.
<u>PARKING ISLAND TREES</u>						
	PC	27	Pistacia chinensis / Chinese Pistache	Gallon or B&B	2"-Cal.	8'-10' ht.
	QP	73	Quercus phellos / Willow Oak	Gallon or B&B	2"-Cal.	8'-10' ht.
<u>STREET TREES</u>						
	LI	38	Lagerstroemia indica / Crape Myrtle	Gallon or B&B	1.25" Cal.	6'-8' ht.
	UB	28	Ulmus parvifolia 'UPMTF' / Bosque® Lacebark Elm	Gallon or B&B	2"-Cal.	8'-10' ht.
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	
<u>SHRUBS</u>						
	CS	354	Camellia hiemalis 'Shishigashira' / Shishigashira Camellia	3-Gal.		
	ID	97	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	7-Gal.		
	RA	558	Rhaphiolepis indica 'Alba' / White Indian Hawthorn	3-Gal.		
	RF	232	Rhododendron obtusum 'Fashion' / Fashion Azalea	3-Gal.		
	RP	107	Rosa x 'Peach Drift' / Peach Drift® Meidiland Rose	3-Gal.		
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>SPACING</u>
<u>GROUND COVERS</u>						
	SEED	37,428 sf	Cynodon dactylon / Bermuda Grass	HydroSeeding		
	ROW	12,843 sf	Cynodon dactylon '419 Hybrid' / 419 Hybrid Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	SOD	66,196 sf	Cynodon dactylon '419 Hybrid' / 419 Hybrid Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	MULCH	35,826 sf	Pine Straw Mulch / Mulch Area	Pine Straw Bales	4" Depth	

LANDSCAPE CALCULATIONS

LANDSCAPE PERCENTAGE		REQUIRED	PROVIDED
610,139 SF TOTAL PROPERTY (14.00 ACRES)		10% MINIMUM OPEN SPACE SF REQUIRED 61,013.9 SF REQUIRED	+/-102,022 SF
TOWN CENTER PARKWAY		REQUIRED	PROVIDED
10' DEPTH REQUIRED	913'	1 LARGE TREE+1 SMALL TREE / 30LF = 30.43	10' DEPTH PROVIDED
1 LARGE TREE & 1 SMALL TREE		30 LARGE TREES & 30 SMALL TREES REQUIRED	28 LARGE & 38 SMALL TREE PROVIDED
1 SHRUBS PER 10LF		92 SHRUBS REQUIRED	92 SHRUBS PROVIDED
OPEN SPACE		REQUIRED	PROVIDED
4 LARGE TREES REQUIRED	PER 1000 SF	4 LARGE TREES + 8 SMALL TREES / 15 SHRUBS/1000	72 LARGE TREES
5 SMALL TREES REQUIRED	X 61	244 LARGE TREES & 305 SMALL TREES	13 SMALL TREES
15 SHRUBS		915 SHRUBS REQUIRED	756 SHRUBS
PARKING LOT		REQUIRED	PROVIDED
LANDSCAPE ISLANDS		PROVIDE END CAP ISLANDS	100 END CAP ISLANDS PROVIDED
1 LARGE TREE PER ISLAND		1 TREE PER 12 SPACES	100 LARGE TREES
5 SHRUBS PER ISLAND		TBD SPACES PROPOSED	500 SHRUBS
		REQUIRED 374 LARGE TREES 335 SMALL TREES 1,507 SHRUBS	PROVIDED 200 LARGE TREES/PALMS 51 SMALL TREES/PALMS 1,348 SHRUBS





Planning Department

Staff Report

Case No. DEXCP 2026-0007

Design Exception for Design Standards
for Light Industrial Construction at

1701 Town Center Parkway

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1701 Town Center Parkway (**Figure 1**)

Owner: CCB Holdings, L.L.C.

Applicant: Brossett Companies

Zoning: IT1 -Light Innovation and Technology (**Figure 1**)

Request: Design Exception from Unified Development Code Chapter 8 Section 8.5.4.A; 8.5.6; 8.5.7C; :

PC Meeting: 9/21/2026

CURRENT CONDITIONS

1. The property is a 15.25 acre parcel located at 1701 Town Center Parkway and is zoned IT1 Light Innovation & Technology. (**Figure 1**)
2. The applicant has requested a Design Exception for the proposed construction of a Functional Dependent Design for a warehouse and distribution facility (**Figure 2**). As permitted in Section 4.10 of the Unified Development Code (UDC),

"...the Planning Commission is empowered to review and approve design exceptions upon review and recommendation of the Director of Planning and after conducting a public hearing on the matter. Examples for when design exceptions may be appropriate include specialized exterior cladding for energy efficient design and building layouts that do not have clearly defined front, side and rear elevations or where the functional design requirements for the building's intended use make it difficult to adhere to the strict requirements of the design guidelines."

3. UDC Section 8.5.4.A states that:

A. *Elevations. Required percentages and types of façade surfaces are provided as follows:*

1. *Front elevation. The building elevation(s) fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.*
2. *Side elevation. Decorative building materials are required on side elevations as follows:*
 - a. *Street facing. A side elevation fronting on or most directly facing public or private street right-of-way, a street easement, or access easement shall be constructed of or faced with a decorative building material on 100 percent of the façade elevation, excluding doors.*
 - b. *Non-street facing. An interior side or any other side elevation that does not front on or most directly face public or private street right-of-way, a street easement, access easement, drive-through lane, or parking lot shall be*

constructed of or faced with decorative building material on 25 feet or 25 percent of the façade elevation, whichever is greater, commencing at the common corner with the front or street facing elevation. The remaining portion of the façade elevation shall be constructed of or faced with limited or non-decorative materials with Director of Planning approval.

- c. *Abutting parking lot or drive-through lane. A side elevation that abuts a drive-through lane or a parking lot with a parking module width of 40 feet or more on the same or an adjacent or abutting property shall be constructed of or faced with decorative building material on 100 percent of the façade elevation located along the portion of the building adjacent to the parking lot or drive through lane.*
- d. *Other conditions. All other elevations may be constructed of or faced with limited or non-decorative materials on 100 percent of the façade elevation.*

4. UDC Section 8.5.6 states that:

Overhead doors providing access to service or storage bays shall be designed or painted to match the wall façade and shall include windows.

5. UDC Section 8.5.7.C states that:

C. *Architectural features on elevations.*

- 1. *Front elevation. The front elevation shall have architectural features that animate the façade along its entire length spaced at intervals of not more than 100 feet in horizontal distance. These features shall include wall sconces, display windows, faux windows, brick patterning, entry areas, towers, pilasters, columns, horizontal and vertical offsets, and/or other elements that create a pattern of light and shadow on the building wall.*
- 2. *Side and rear elevations. Side and rear elevations shall have at least one of the following for each 100 feet of horizontal distance: wall sconces, display windows, entry areas, towers, pilasters, columns, horizontal and vertical offsets, and other elements that create a pattern of light and shadow on the building wall.*

6. UDC Section 8.5.7.D states that:

Transparency. Front elevations must have transparent windows or doors composing a minimum of 50 percent of the total area of the front facade, unless the Director of Planning determines that the required transparency is inconsistent with the operational requirements of the building.

7. UDC Section 9.3.F states that:

Buffer landscape area.

- 1. *Applicability. A buffer includes both a landscape area and an opaque fence or wall.*
 - a. *A required buffer and the entity responsible for the buffer occurs in the following conditions, whenever the conditions for permitting require a landscape plan:*
 - i. *Between a multi-family development and any existing single-family use.*
 - ii. *Between a commercial or mixed use development and any existing single-family or multi-family use.*

- iii. *Between an industrial development and any existing single-family, multi-family, mixed use, or commercial use.*
- 2. *Planting requirement.*
 - a. *Must consist of a minimum of 4 large trees, 4 small trees, and 20 shrubs for every 1,000 square feet of landscape area.*
 - b. *All trees and shrubs must be evergreen and dispersed evenly along the shared property boundary to provide continuous screening.*
- 3. *Fence requirement.*
 - a. *The site must include an opaque fence at least 6 feet tall to block noise, light, and particulates.*
 - b. *The Department of Planning may require a taller fence and sound abatement materials to increase the buffer effect when light, noise, or particulates from the more intense land use are likely to pass over a 6-foot fence without hindrance.*
 - c. *In the event that there exists on the property in either zone a fence meeting these requirements, said fence being within 12 inches of the abutting property lines, no additional fence will be required to be built.*
- 4. *Location and dimensions.*
 - a. *The buffer landscape area must extend along the shared property line boundary with the less intense use(s) as identified in this Section.*
 - b. *The width of the buffer landscape area shall be a minimum of 10 feet and maximum of 25 feet from the property boundary toward the interior of the property.*

8. UDC Section 9.3.G states:

Open space landscape area - Industrial, commercial, and multi-family sites.

- 1. *Planting requirement.*
 - a. *For every 1,000 square feet of landscape area there shall be a minimum of 4 large trees, 5 small trees, and 15 shrubs.*
- 2. *Location and dimensions. Open space landscape areas may be:*
 - a. *The project site must retain or provide 10 percent of the overall site square footage as open space, in addition to required buffer, parking, and street landscape areas.*
 - b. *Established by creating planting areas along a building façade, between a building and a parking area, or alongside non-buffered property lines; or*
 - c. *Made a part of other required landscape areas, but in no case shall the planting space be counted as both open space landscaping and another required landscape areas; or*
 - d. *Elsewhere on the site.*
 - e. *The minimum size of any planting area shall be 25 square feet.*
- 3. *Exceptions.*
 - a. *The Department of Planning can approve retention of existing vegetation in lieu of removing and replanting areas, provided that the existing vegetation consists*

of a mix of non-invasive trees and shrubs and may require additional planting of trees and shrubs to meet the minimum planting requirements.

- b. Stormwater drainage improvements may be counted as open space provided improvements consist of a live vegetative covering and include large or small trees and/or shrubs.*

9. UDC Section 9.3.I states:

Parking landscape area.

- 1. Applicability. Required for new construction and substantial improvement of industrial, commercial, and multifamily properties with ten or more parking spaces. Parking lots shall consist of both endcap planting areas at the end of each parking row of 12 parking spaces and interior island planting areas disbursed throughout the parking lot for maximum shade potential for each 12 parking spaces.*
- 2. Planting requirement. Both endcaps and interior island planting areas shall consist of at least 1 large tree and 5 shrubs. Areas not planted with trees or shrubs must be planted with a living vegetative covering.*
- 3. Location and dimensions.*
 - a. End cap. The endcap planting area shall consist of a 100 square foot planting area at the end of each row of 12 parking spaces. When 2 rows of parking abut each other, the 100 square foot endcaps shall be combined into one endcap with a minimum planting area of 200 square feet.*
 - b. Interior island. The interior island planting area must include a minimum of 200 square feet of planting area for every 12 parking spaces and be dispersed evenly throughout the parking area to provide a consistent shade canopy.*
 - c. Placement. Trees shall be planted where trunks are a minimum of 30 inches from all curbs, bollards, rear guards, or other permanent parking lot traffic control elements.*
- 4. Exceptions. The Department of Planning may approve alternative layouts of the endcap and interior island planting areas to:*
 - a. Preserve a heritage or protected tree;*
 - b. Retain a cluster of large and small trees and shrubs;*
 - c. Accommodate best management practices for stormwater management; or*
 - d. Achieve a holistic, integrated landscape plan for the site.*

10. UDC Section 9.3.J states:

Street landscape area.

- 1. Planting requirement – depth up to 15 feet. For every 40 linear feet of street frontage (or fraction thereof) a minimum of 1 large tree and 1 small tree must be provided. For every 10 linear feet of street frontage (or fraction thereof), 1 shrub must be provided.*
- 2. Planting requirement – depth more than 15 feet. For every 40 linear feet of street frontage (or fraction thereof) a minimum of 2 large trees and 2 small trees must be*

provided. For every 10 linear feet of street frontage (or fraction thereof), 2 shrubs must be provided.

3. *Location and dimensions.*

- a. *Must span the entire property frontage along a property frontage at the boundary between any public right-of-way (ROW) and the private property, not inclusive of the public ROW.*
- b. *The depth of the street landscape area shall be a minimum of 10 feet and maximum of 25 feet from the property boundary toward the interior of the property.*

STATEMENT OF FUNCTIONAL NEED BY APPLICANT

Construction of a new speculative single-story tilt-wall concrete warehouse and distribution building totaling 252,720 square feet on a ±15-acre site at 1701 Town Center Parkway, Slidell, LA 70461, being the portion of Tract 3-B labeled Tract 3-B-1, Fremaux Subdivision, zoned IT1 Light Innovation and Technology. Warehousing and distribution/logistics centers are allowed uses in IT1.

Work includes site clearing and grading with structural fill to a finished floor elevation of +14.00, two feet above the effective FEMA base flood elevation; a concrete tilt-wall shell on a structural steel frame with single-ply roof; approximately +/-57 dock-high loading positions along the north elevation; truck court, trailer storage, and automobile parking; two independent points of ingress and egress including a new secondary access connecting to the adjacent roadway; water, sanitary sewer, and fire protection service; stormwater conveyance and water quality treatment; landscaping and buffer fencing. The design accommodates either a single tenant or multiple tenants.

UDC Section 8.5.4.A – Façade Requirements

Requested Exception

The applicant requests approval of the reinforced tilt-up concrete panel treatment shown on the submitted elevations for portions of the front elevation and the building end walls, with enhanced architectural treatment concentrated at the building entrances and publicly visible areas.

No exception is requested for the rear loading elevation.

Basis for Request

The tilt-up concrete wall panels form the exterior structural wall system of the building and are integral to the construction method used for modern Class A industrial facilities.

The building's primary entrances are enhanced through storefront glazing, architectural metal accents, changes in massing as illustrated on the submitted rendered elevations.

Only a limited portion of the building frontage is directly exposed to Town Center Parkway; the remainder is screened by distance, site orientation and adjoining development.

Applying commercial façade-material percentages uniformly across the entire exterior wall system would not reflect the functional design or construction method of the proposed warehouse. The applicant therefore requests approval of the façade treatment shown on the submitted elevations.

UDC Section 8.5.6 – Service Bay Door Windows

Requested Exception

Service bay and loading-door glazing will be provided as shown on the submitted architectural elevations and door schedules.

The applicant requests approval of the service-bay and loading-door glazing configuration shown on the submitted elevations and door schedules as part of this Functional Dependent Design.

Basis for Request

The rear elevation functions as the building's active loading and service area. Dock doors, drive-in doors, dock equipment, trailers and tractor-trailer movements occur continuously along this elevation.

Any glazing or architectural treatment associated with these doors must therefore remain compatible with the durability, security and operational requirements of an active warehouse loading area.

UDC Section 8.5.7.C – Architectural Features

Requested Exception

The applicant requests relief from the prescribed architectural-feature intervals along a portion of the front elevation as well as the full rear loading elevation and the building end walls, with architectural features provided on the front elevation office portions as shown on the submitted elevations/renderings.

Basis for Request

The rear elevation is a functional loading face designed around a repetitive system of dock doors, drive-in doors, dock equipment and trailer positions. Tractor-trailers must be able to approach, maneuver and back directly to the building.

Architectural projections or similar features placed at regular intervals along this elevation could conflict with loading operations, dock equipment, trailer positions and required maneuvering areas.

The building end walls do not contain public entrances. The building's architectural emphasis is therefore appropriately concentrated along the front elevation and at the primary entrance locations.

Along the front and side façades, the tilt-up panel system produces long, uninterrupted wall planes between the enhanced entrance areas. Within these wall planes, relief and variation are achieved through panel jointing and reveal patterns, variation in panel height and parapet line, and changes in color and finish, rather than through projections, recesses or similar features at the prescribed intervals.

The building is speculative in nature and is being constructed without an identified end user. The exterior color palette of white and grey was selected for that reason. These are tasteful and neutral tones that appeal to a wide variety of tenants and allow the building to accommodate a broad range of future users without requiring wholesale exterior modification at the time of lease-up. A more prescriptive or heavily articulated façade treatment would narrow the building's marketability and would likely be altered by an incoming tenant.

UDC Section 8.5.7.D – Transparency

Requested Exception

The applicant requests approval of the transparency and glazing configuration shown on the submitted elevations in lieu of the otherwise applicable minimum transparency percentage.

Basis for Request

The proposed facility is primarily a warehouse and distribution building rather than a retail or conventional office building. The majority of the interior is intended for high-bay warehousing, storage and distribution.

Providing glazing across a substantial portion of the warehouse wall would conflict with usable warehouse wall area, future rack and storage flexibility, cargo security and the performance of the building envelope.

Accordingly, transparency is concentrated at the portions of the building where it provides the greatest architectural and functional benefit: the occupied office components and primary employee and visitor entrances.

UDC Section 9.3.G – Open Space Landscape Area

Requested Exception

The applicant does not request relief from the required open-space area. The project provides at least the required ten percent open-space landscape area.

The applicant requests relief only from the prescribed planting density within that open-space area, reflective of the removal of any portion of designated open space that is also being used for stormwater management functionality.

Basis for Request

Ten percent of the approximately 15 acre site represents approximately 65,300+/- square feet of required open space. A portion of the open-space landscape area is occupied by the site's stormwater detention basins, as shown on the submitted site plan. The basin floor and side slopes must remain free of trees and substantial plantings in order to preserve the basin's design storage volume, maintain slope stability and embankment integrity, and allow routine mowing, inspection and maintenance access.

Strict application of the planting-density formula would require tree spacing that does not provide sufficient room for many large tree species to develop healthy mature canopies and root systems.

The pending landscape design will retain more than the required amount of open space while distributing landscape material in a manner that provides sufficient room for healthy tree growth and remains compatible with site drainage, circulation, fire access and warehouse operations.

UDC Section 9.3.I – Parking Landscape Area

Requested Exception

The applicant requests confirmation and approval that landscape islands and trees are not required within the rear truck court, dock apron, trailer maneuvering and loading areas.

Basis for Request

This area is an active truck court used by tractor-trailers to circulate, turn, stage and back into loading docks. These operations require large, unobstructed pavement areas and defined truck maneuvering envelopes.

Landscape islands or trees placed within these areas would create fixed obstructions within active tractor-trailer circulation and backing paths and could interfere with safe and efficient loading operations.

The proposed site design therefore concentrates parking-lot landscaping within the automobile parking field while maintaining the rear truck court and dock areas as unobstructed operational surfaces.

RECOMMENDATION

The Planning Director, after reviewing the proposed construction plans, finds the request complete and appropriate.

The requested design exceptions are limited to those areas where strict application of the City's commercial design standards conflicts with the functional requirements of tilt-up warehouse construction, tractor-trailer circulation and loading operations, or appropriate spacing for long-term landscape growth.

The applicant has concentrated architectural treatment at the primary entrances and publicly visible portions of the building, landscaped the automobile parking lot, and distributed landscape material throughout the site where it can be installed without interfering with essential building, truck circulation, drainage and maintenance functions.

FIGURES

Figure 1. Project Location & Zoning Map

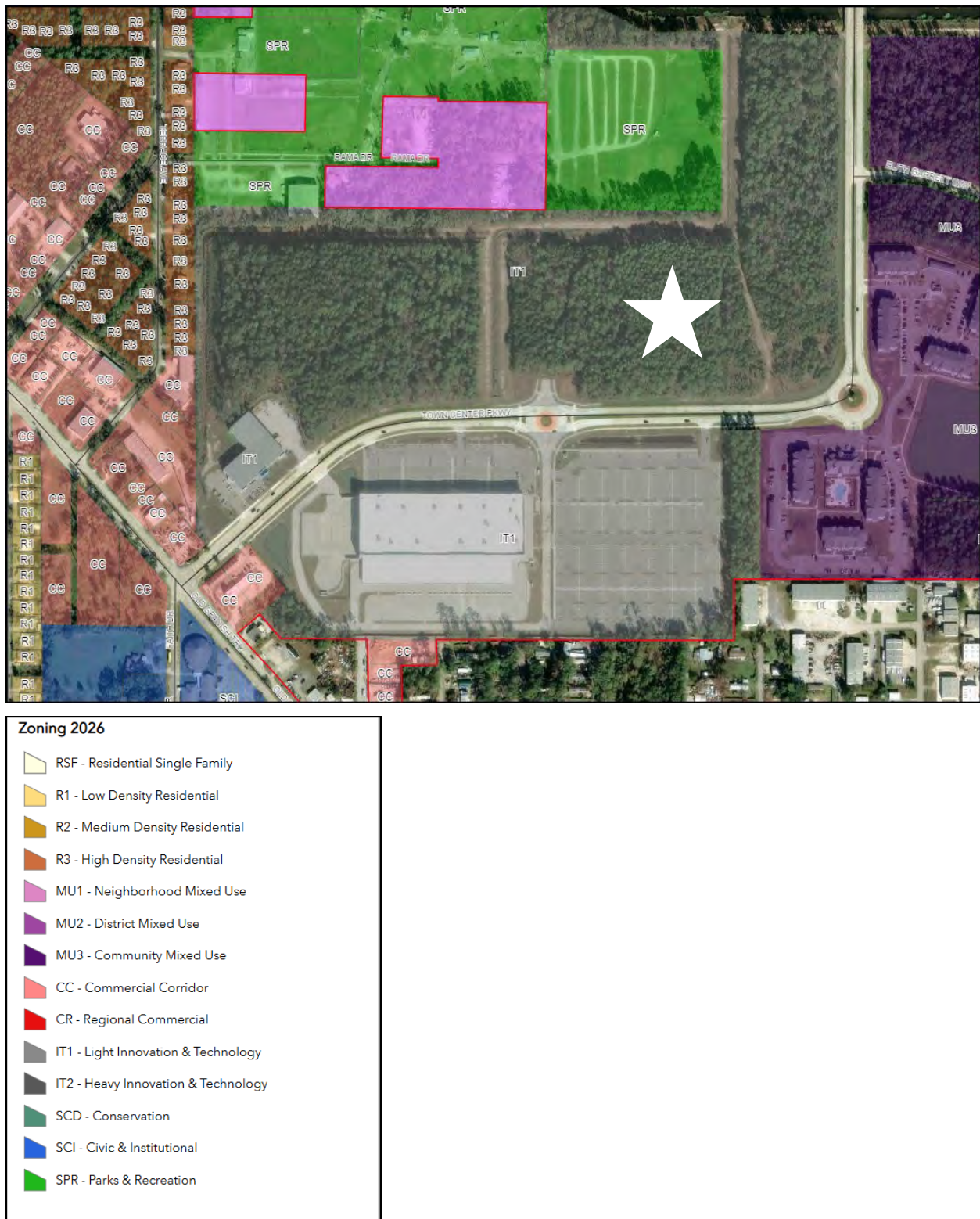
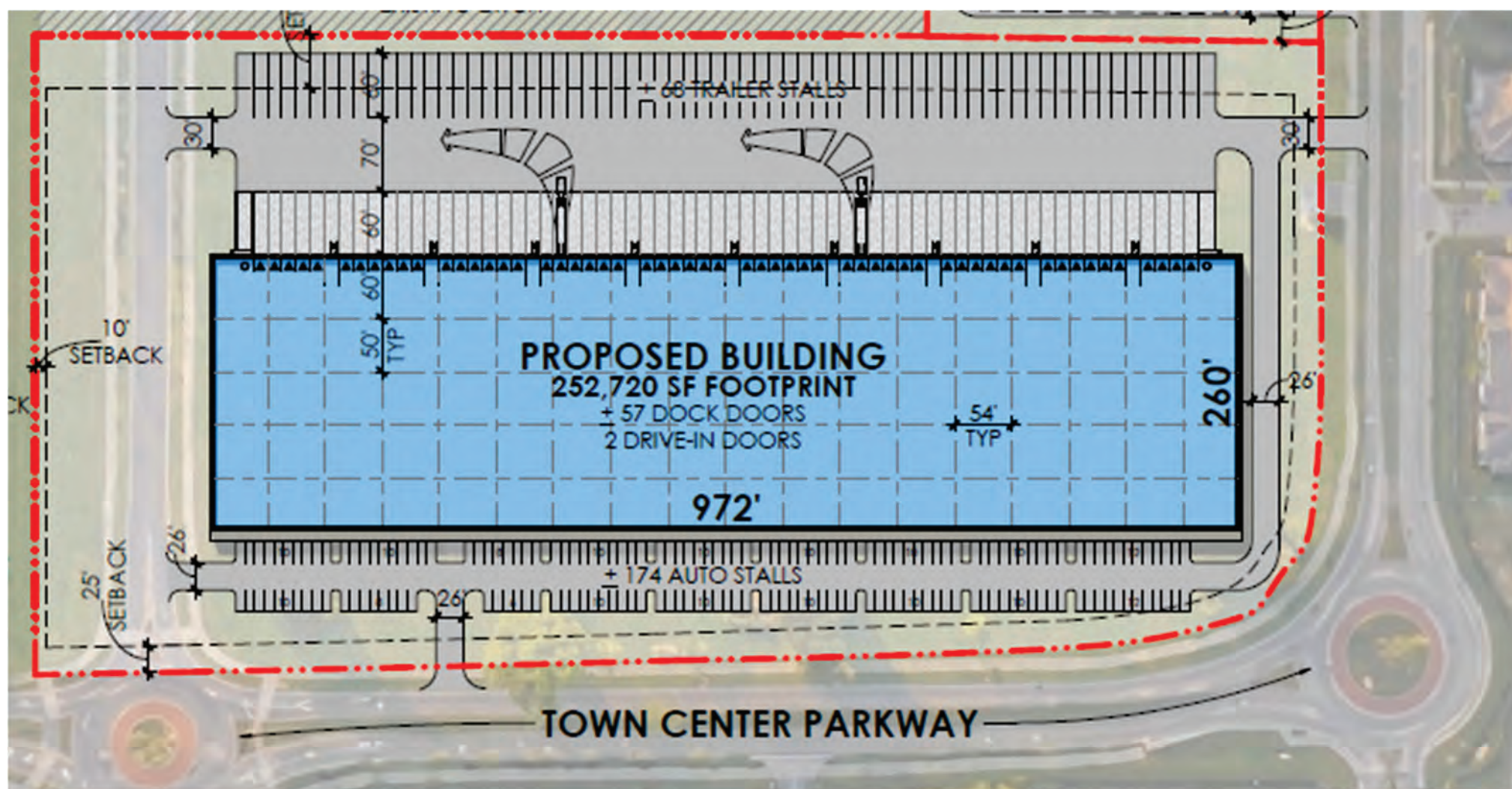


Figure 2. Site Plan and Architectural Renderings

(see following pages)





Building II-1951 Town Center Parkway, Slidell, LA 70458- Functional Dependent Design



ARCO DESIGN/BUILD | 142 DESIGN GROUP
PSPNE_26-0011 | 05/15/2026

1701 Town Center Parkway, Slidell, LA 70458 | Functional Dependent Design

CONCEPTUAL ENTRANCE DESIGN
BROSSETT DEVELOPMENT





Staff Report

Case No. SUBD2026-0032

Resubdivision of Parcel 12,
Fremaux Town Center Subdivision
Into Parcels 12-A and 12-B,
Section 14, Township 9 South, Range 14 East

Planning Department

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: Tax Parcel 86129, an undeveloped parcel along Levis Lane (**Figure 1**)

Owner: Stirling Levis II

Applicant: Stirling Properties, Mark Salvetti (Owner Representative)

Zoning: CR Commercial Regional; HOD Height Overlay

Future Land Use: Commercial (**Figure 2**)

Request: Resubdivision of Parcel 12, Fremaux Town Center Subd INTO Parcel 12-A and Parcel 12-B, Section 14, T9S, R14E, City of Slidell, St Tammany Parish, Louisiana.

Planning Commission: September 21, 2026

RECOMMENDATION

Planning Department

APPROVAL

FINDINGS

1. The petitioned property is vacant land within Fremaux Town Center (**Figure 3**). It is zoned CR Commercial Regional and is within the HOD Height Overlay District (**Figure 4**).
2. This is the first step in a three step process for the applicant, who proposes further resubdivision of proposed Parcel 12-B as part of a new tract identified as Tract 1B-1B-A (see SUBD2026-0034) in moving forward to create a single tract for further retail development. (**Figure 5**).
3. Currently, this parcel has access to a 4-inch sewer line and a 10-inch water line. (**Figure 6**)
4. The property is in a special flood hazard area, in flood zone B with approx. ground elevation at 11.5 feet. (**Figure 7**)

FIGURES

Figure 1. Location Aerial



Figure 2. Future Land Use Map (Comp Plan 2040)

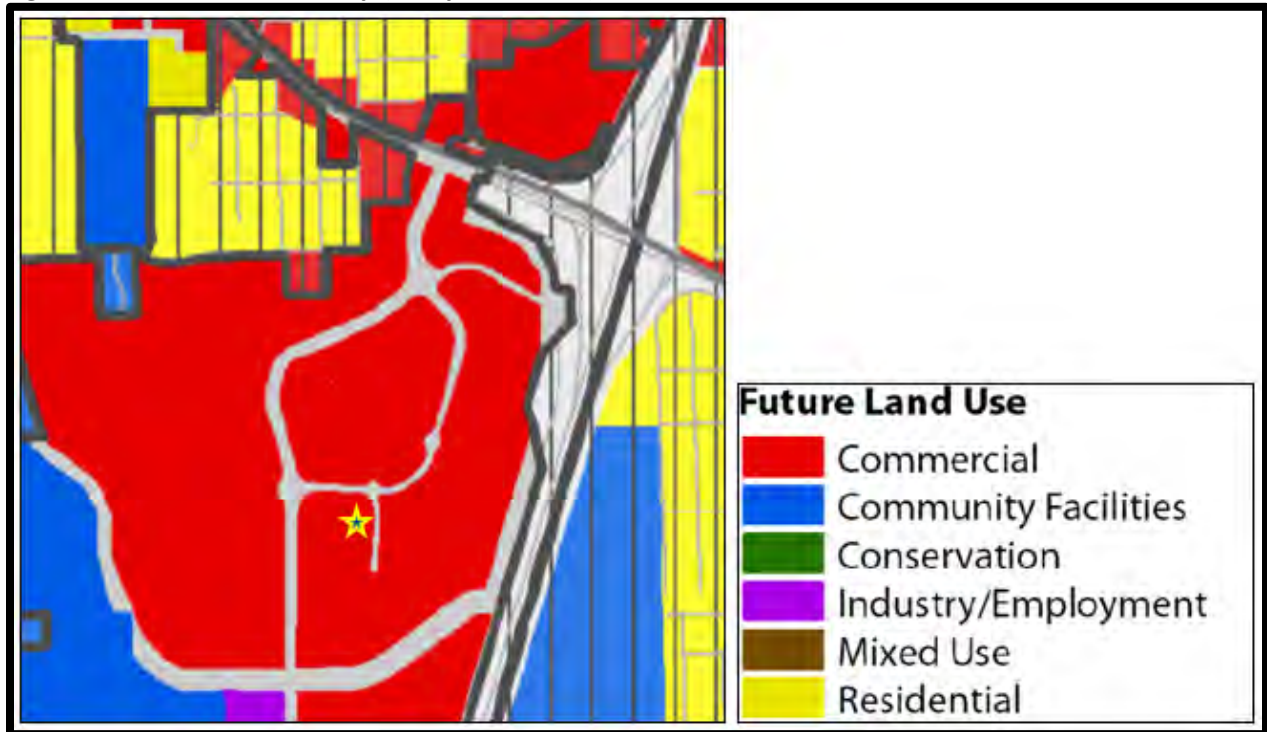


Figure 3. Street View



Figure 4. City Zoning (CR Regional Commercial)

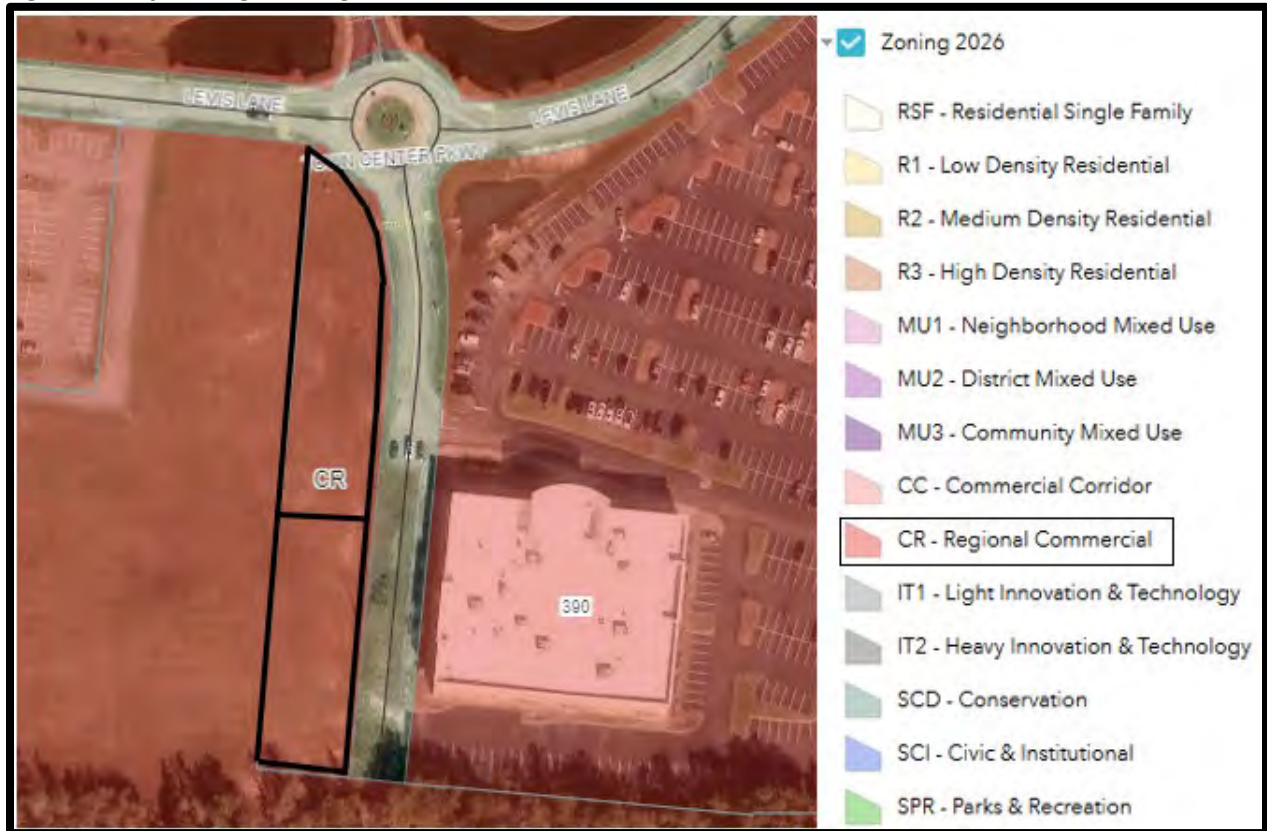
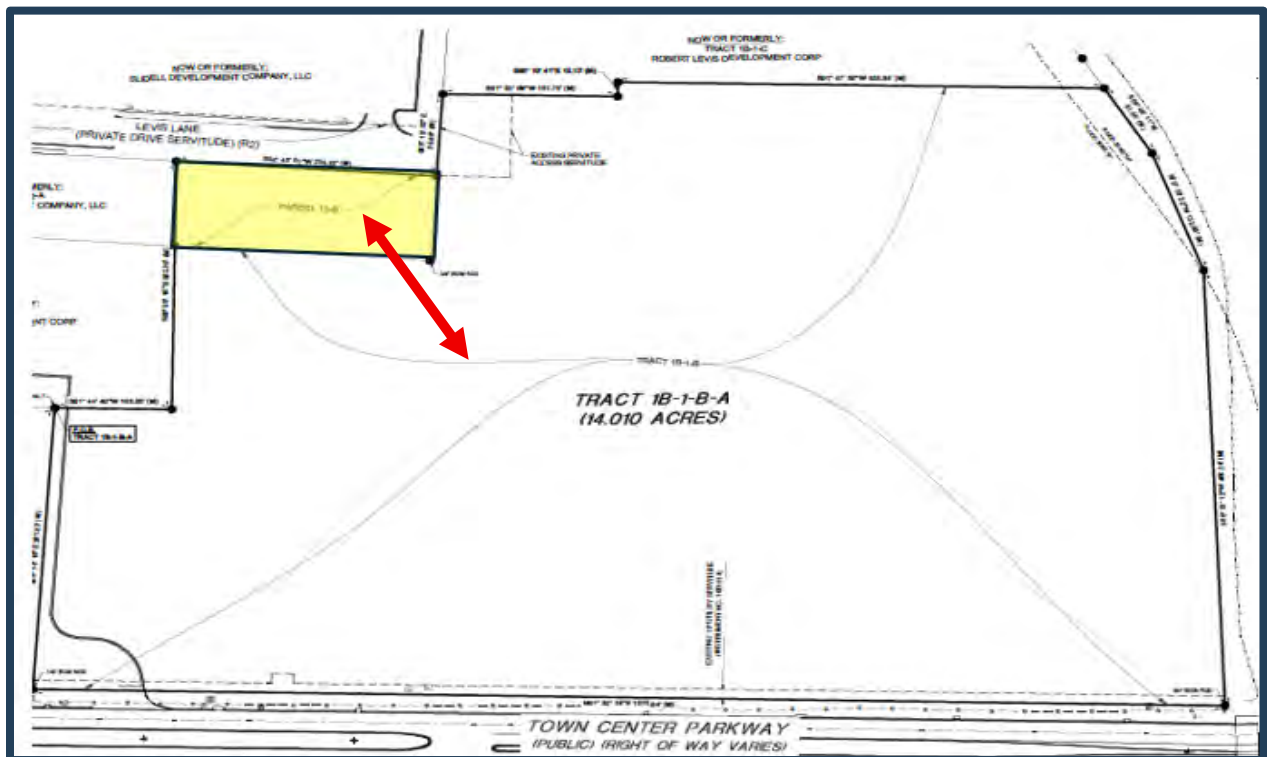
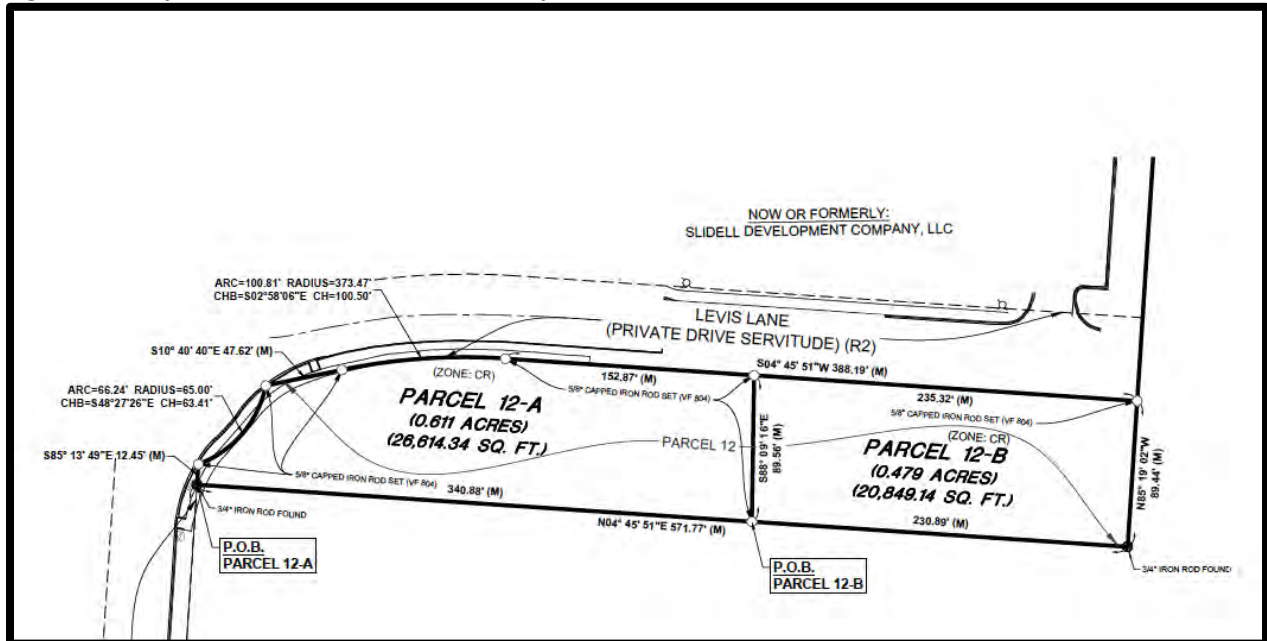


Figure 5. Proposed Resubdivision + Next Step in SUBD2026-0034



FULL SUBDIVISION PLAT – NEXT PAGE

S:\23-000\23-1223 FREMAUX CENTER TARGET\DWG\RESUB\23-1223_S-1_20260824.DWG

NOTE:
MEASURED BEARINGS BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD83
AS DERIVED FROM THE LSU C4G RTK NETWORK (2026.48).

CONVERGENCE ANGLE: 00°47'08.55"

-

+

+

-

COMBINED SCALE: 0.99993630

CONTROLLING STATION: SLIDELL, LA (SJHS)

LAT: N30°16'49.45883"
LONG: W89°46'47.85776"

GENERAL NOTES:
ZONING: REGIONAL COMMERCIAL DISTRICT (CR)
FRONT SETBACK = 25 FEET
SIDE SETBACK = 10 FEET
REAR SETBACK = 25 FEET
OWNER:
PARCEL 12- STIRLING-LEVIS 2, LLC
16675 E. BREWSTER RD STE 100
COVINGTON, LA 70433

- REFERENCES:
- PLAT SHOWING RESUBDIVISION OF TRACT 1B, BAYER SUBDIVISION INTO TRACT 1B-1 AND TRACT 1B-2, BAYER SUBDIVISION, LOCATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, DATED 09/20/2017, BY ACADIA LAND SURVEYING, LLC; RECORDED AT MAP NO. 5683.
 - PLAT SHOWING RESUBDIVISION OF TRACT 2C AND THE REMAINDER OF TRACT 1A OF BAYER SUBDIVISION INTO PARCELS 1 THRU 12, PRIVATE DRIVE SERVITUDE #1 AND PRIVATE DRIVE SERVITUDE #2 FREMAUX TOWN CENTER SUBDIVISION, DATED 02/20/2013, BY ACADIA LAND SURVEYING, LLC.

FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:

FLOOD ZONE: "B"

COMMUNITY PANEL NO. 2252050420E

EFFECTIVE DATE: 04/21/1999

(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

PARCEL 12-A LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS PARCEL 12-A, FREMAUX TOWN CENTER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 328.59' TO A 3/4" IRON ROD FOUND AND THE POINT OF BEGINNING.

THENCE S85°13'49"E A DISTANCE OF 12.45 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 65.00 FEET AND A LENGTH OF 66.24 FEET, WITH A CHORD BEARING S48°27'26"E A DISTANCE OF 63.41 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE S10°40'40"E A DISTANCE OF 47.62 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 373.47 FEET AND A LENGTH OF 100.81 FEET, WITH A CHORD BEARING S02°58'06"E A DISTANCE OF 100.50 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE S04°45'51"W A DISTANCE OF 152.87 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE N88°09'16"W A DISTANCE OF 89.56 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE N04°45'51"E A DISTANCE OF 340.88 FEET TO THE POINT OF BEGINNING.

SAID PARCEL 12-A CONTAINS 0.611 ACRES LYING AND SITUATED IN FREMAUX TOWN CENTER SUBDIVISION, SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST TAMMANY PARISH, LOUISIANA, AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

PARCEL 12-B LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS PARCEL 12-B, FREMAUX TOWN CENTER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 328.59' TO A 3/4" IRON ROD FOUND, THENCE S04°45'51"W A DISTANCE OF 340.88 FEET TO A 5/8" CAPPED IRON ROD SET AND THE POINT OF BEGINNING.

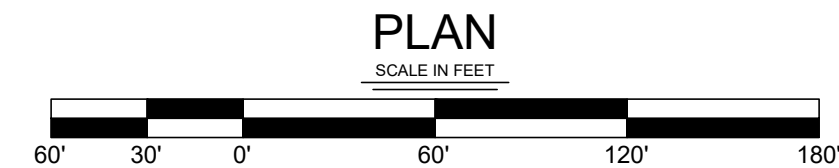
THENCE S88°09'16"E A DISTANCE OF 89.56 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE S04°45'51"W A DISTANCE OF 235.32 FEET TO A 5/8" CAPPED IRON ROD SET;

THENCE N85°19'02"W A DISTANCE OF 89.44 FEET TO A 3/4" IRON ROD FOUND;

THENCE N04°45'51"E A DISTANCE OF 230.89 FEET TO THE POINT OF BEGINNING.

SAID PARCEL 12-B CONTAINS 0.479 ACRES, LYING IN AND SITUATED IN FREMAUX TOWN CENTER SUBDIVISION, SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST TAMMANY PARISH, LOUISIANA, AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.



PLAT SHOWING RESUBDIVISION

OF PARCEL 12, FREMAUX TOWN CENTER SUBDIVISION

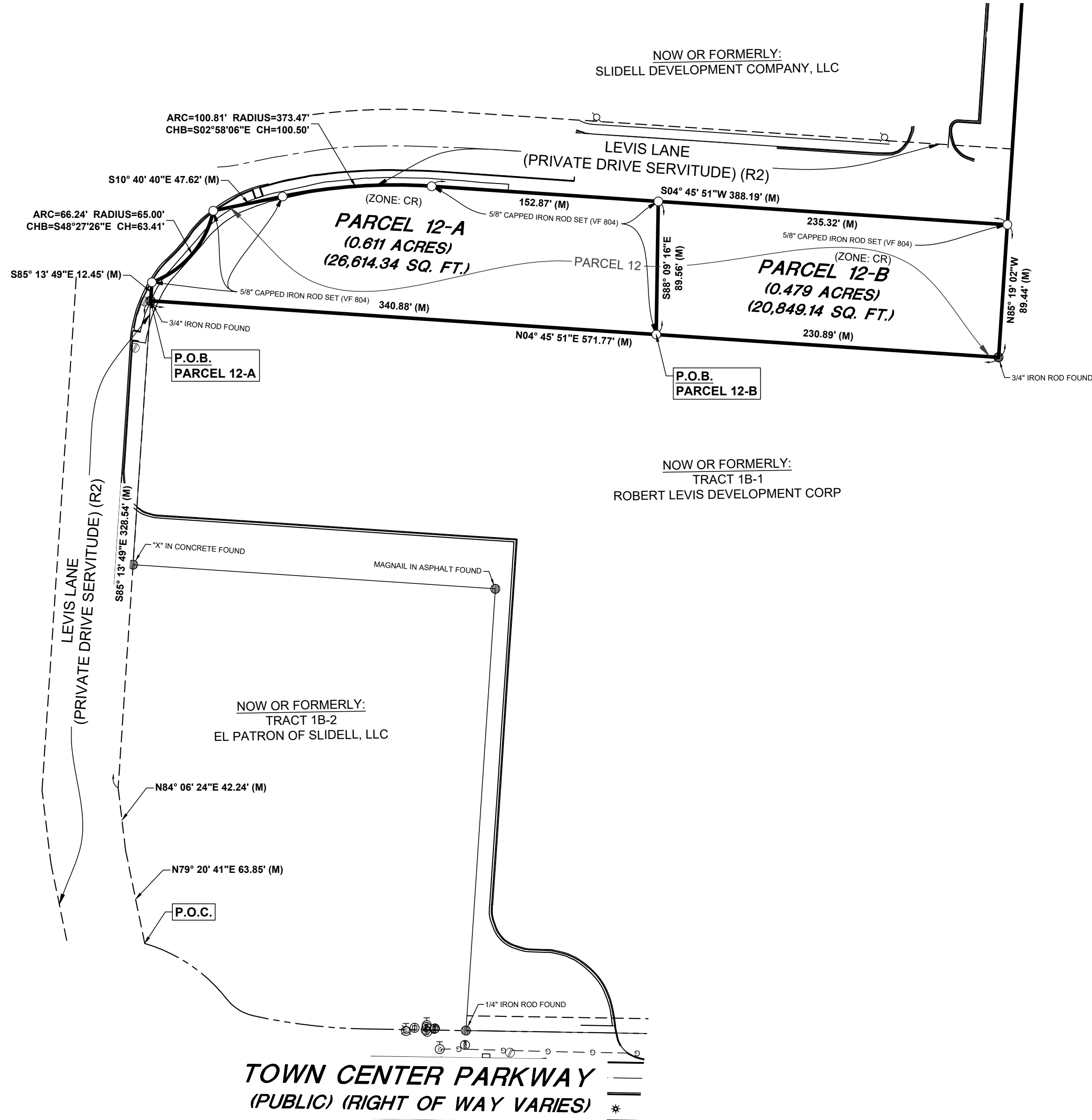
INTO

PARCEL 12-A AND PARCEL 12-B

SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST,

CITY OF SLIDELL,

ST. TAMMANY PARISH, LOUISIANA



OWNER:	
STIRLING-LEVIS 2, LLC	DATE
CERTIFICATE OF APPROVAL FOR RECORDING:	
PLANNING COMMISSION CHAIRMAN	DATE
MAYOR	DATE
PRESIDENT OF CITY COUNCIL	DATE
CLERK OF COURT	
MAP FILE NO.	
DATE FILED FOR RECORD	

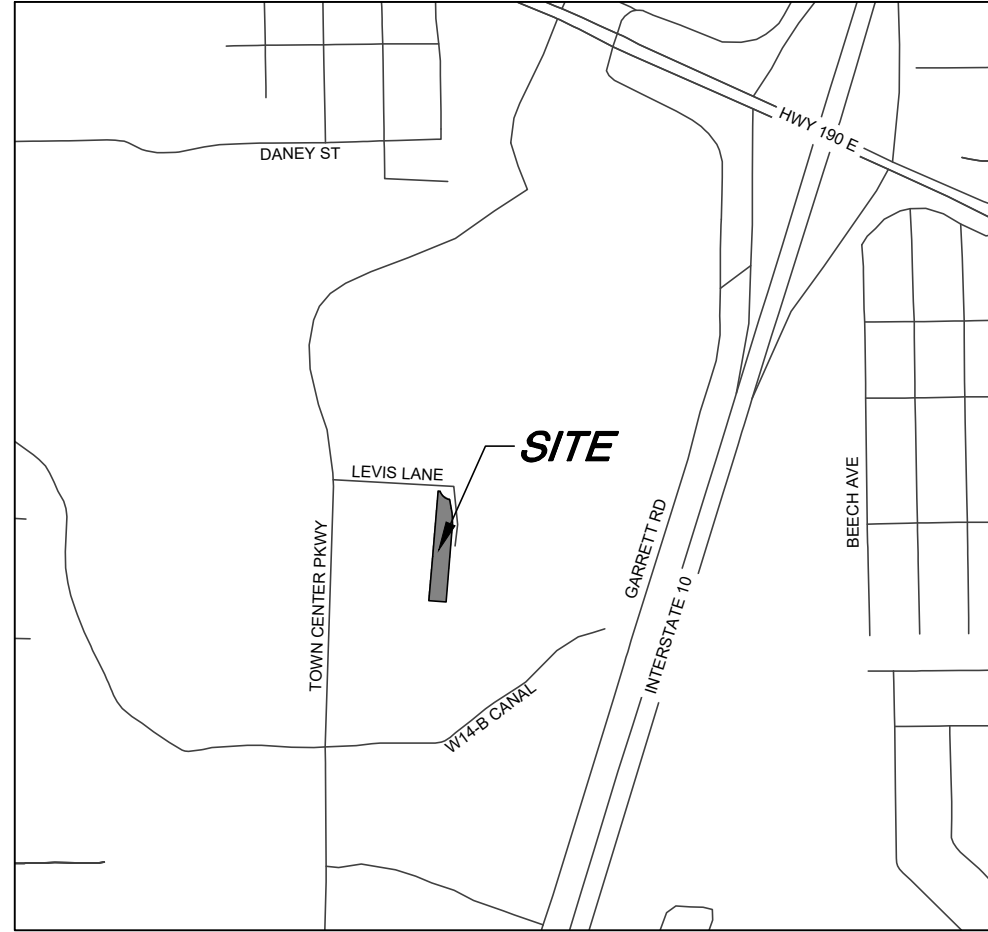
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY.

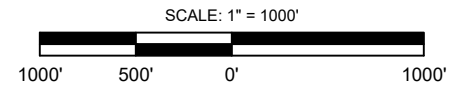
PRELIMINARY - NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

SETH J. MOSBY, P.L.S. - LA REG 5073
REGISTERED PROFESSIONAL LAND SURVEYOR
SMOSBY@DDGPC.COM

DATE OF SURVEY: 06/26/2026



VICINITY MAP



Legend

- 5/8" CAPPED IRON ROD SET (VF 804)
- FIRE HYDRANT
- FOUND PROPERTY CORNER
- GAS UTILITY MARKER
- GAS VALVE
- LIGHT POLE
- MECHANICAL POINT
- POWER JUNCTION BOX
- POWER VAULT
- SEWER MANHOLE
- SIGN POLE
- TELEVISION UTILITY MARKER
- PROPERTY LINE
- RIGHT OF WAY LINE
- SERVITUDE LINE
- SETBACK LINE
- CENTERLINE
- TOP BANK
- UNDERGROUND GAS
- (M) MEASURED BEARING AND DISTANCE
- (R1) PER REFERENCE NO. 1
- (R2) PER REFERENCE NO. 2
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING

PROJECT NO. 23-1223

23-1223_S-1_20260824.DWG

07/02/2026

CHECKED SJM
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1-1

Figure 6. City Utilities

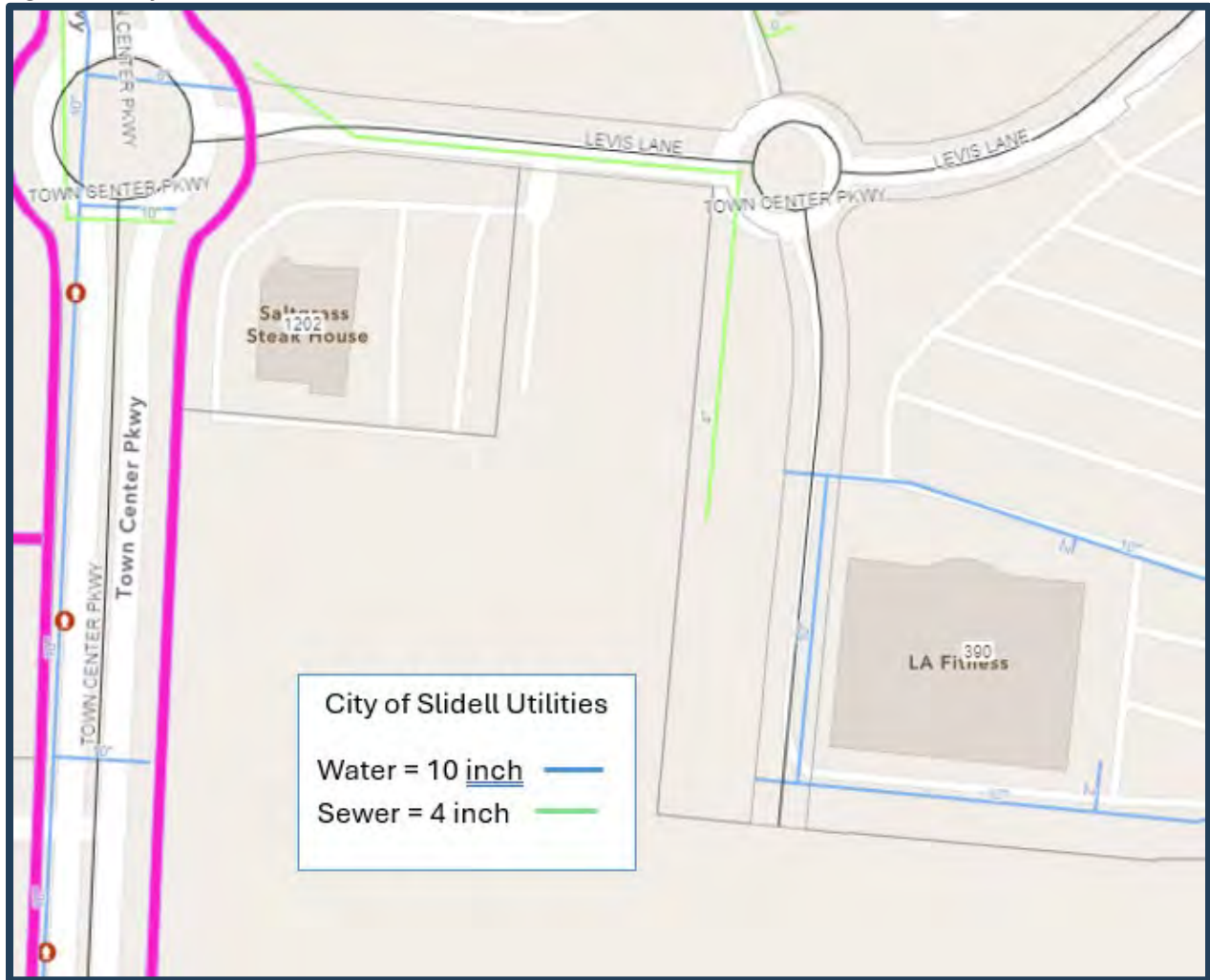
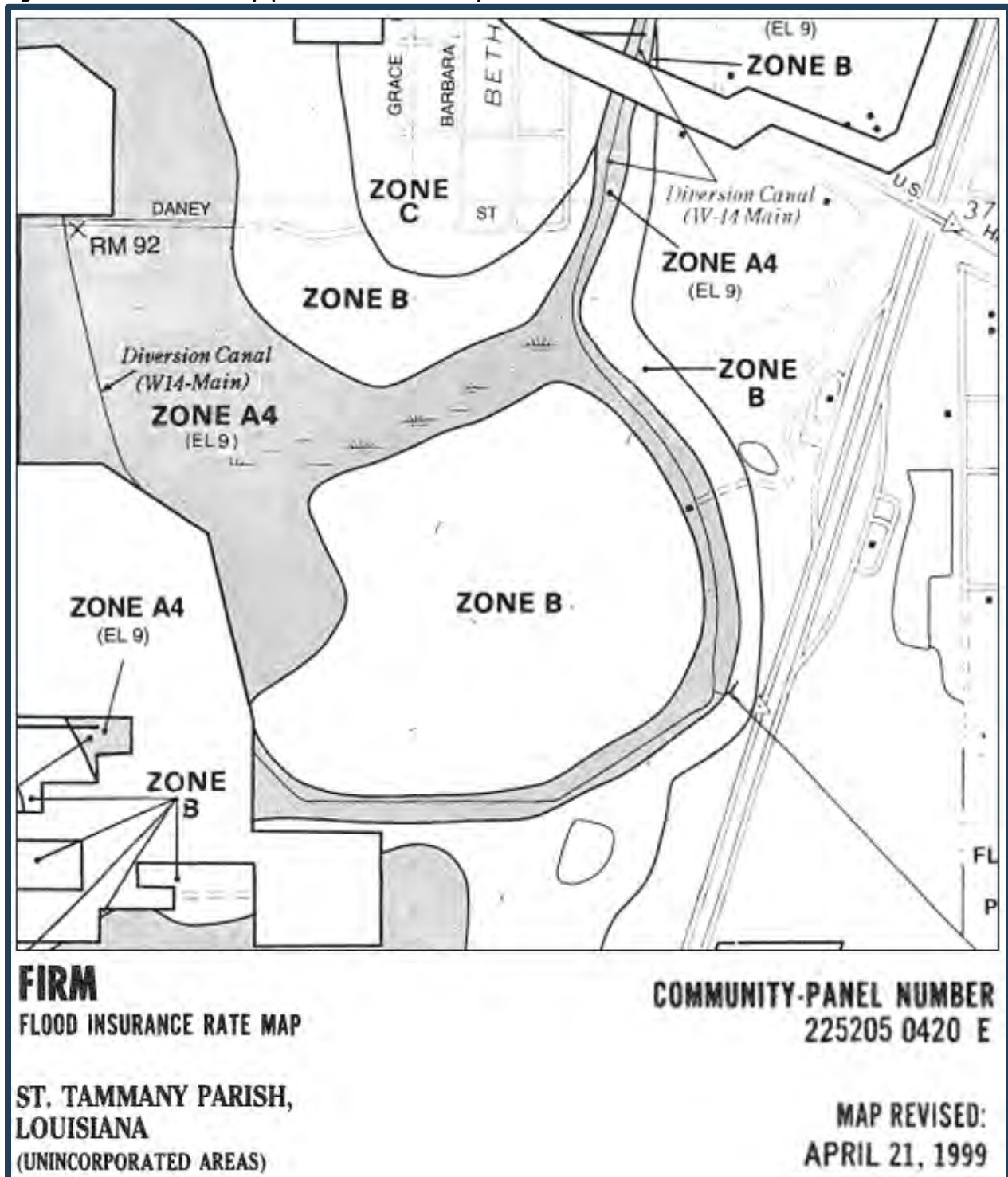


Figure 7. FEMA Flood Map (Panel 22520 50420 E)





Staff Report

Case No. SUBD2026-0033

Resubdivision of Tract 1B-1, Bayer Subdivision,
into Tract 1B-1A, 1B-1B, 1B-1C, and 1B-1D,
Section 14, Township 9 South, Range 14 East

Planning Department

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1350 Town Center Parkway, an undeveloped parcel identified as Tax Parcel 86153 east of Town Center Pkwy and south of Levis Lane (**Figure 1**)

Owner: Robert Levis Development Corp

Applicant: Stirling Properties, Mark Salvetti (Owner Representative)

Zoning: CR Commercial Regional; HOD Height Overlay

Future Land Use: Commercial (**Figure 2**)

Request: Resubdivision of Tract 1B-1 INTO Tracts 1B-1A, 1B-1B, 1B-1C, and 1B-1D, Section 14, T9S, R14E, City of Slidell, St Tammany Parish, Louisiana.

Planning Commission: September 21, 2026

RECOMMENDATION

Planning Department

Approval

FINDINGS

1. The petitioned property is vacant land (**Figure 3**). It is zoned CR Commercial Regional (**Figure 4**).
2. There are future development plans for Tract 1B-1B and possibly 1B-1C.
3. Tract 1B-1D is to be dedicated to the preservation of the historic Native & African American cemetery previously surveyed by the City of Slidell.
4. The applicant proposes further resubdivision of proposed Tract 1B-1B-A by combining Tract 1B-1B and the newly established Parcel 12-B creating a single tract. (see SUBD2026-0036) (**Figure 5**).
5. Currently, this tract has access to a 4-inch sewer line and a 10-inch water line along Levis Lane and Town Center Pkwy, and other utilities through the existing 10-foot Utility Easement along Town Center Pkwy. (**Figure 6**)
6. The property is in a special flood hazard area, in flood zone B with approx. ground elevation at 11.5 feet. (**Figure 7**)

FIGURES

Figure 1. Location Aerial



Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

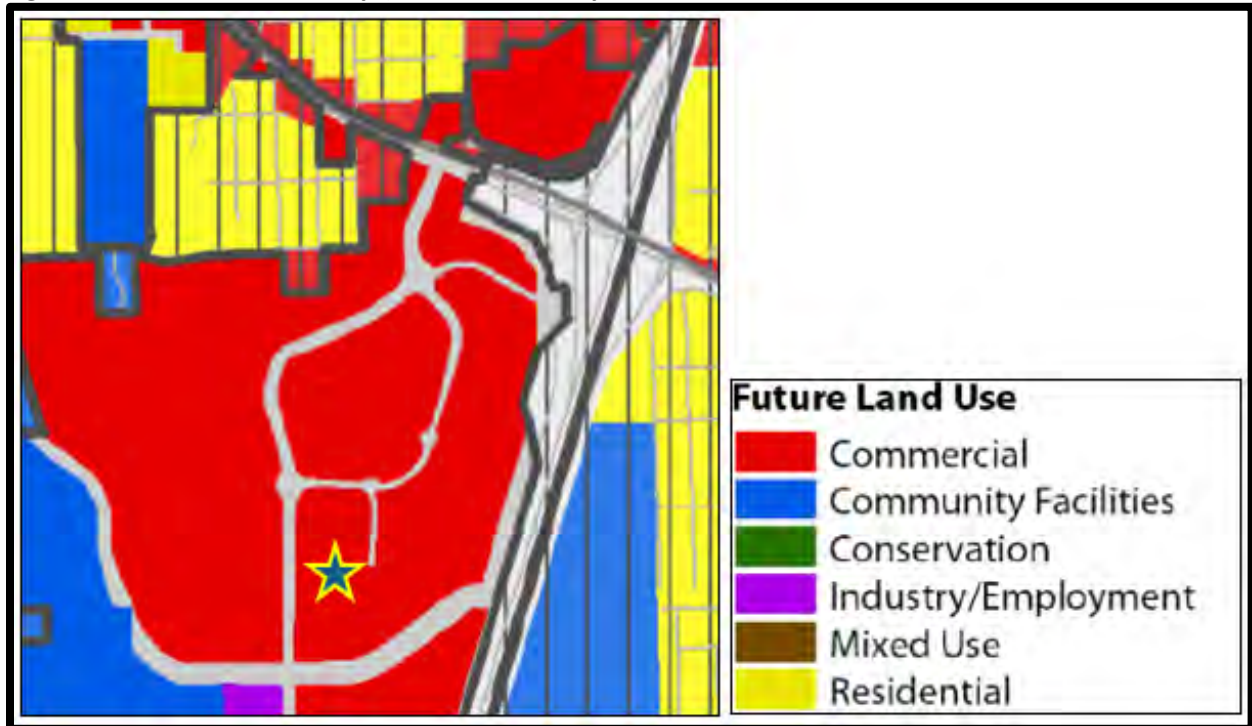


Figure 3. Street View



Figure 4. City Zoning (CR Commercial Regional)



Figure 5. Proposed Resubdivision

(see following two pages)

NOTE:
MEASURED BEARINGS BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD83
AS DERIVED FROM THE LSU C4G RTK NETWORK (2026.48).

CONVERGENCE ANGLE: 00°47'08.55"
COMBINED SCALE: 0.99993630

CONTROLLING STATION: SLIDELL, LA (SJHS)

LAT: N30°16'49.45883"
LONG: W89°46'47.85776"

GENERAL NOTES:

ZONING: REGIONAL COMMERCIAL DISTRICT (CR)

FRONT SETBACK = 25 FEET

SIDE SETBACK = 10 FEET

REAR SETBACK = 25 FEET

OWNERS:

TRACT 1B-1
ROBERT LEVIS DEVELOPMENT CORP
38233 COAST BLVD STE 402
SLIDELL, LA 70458

REFERENCES:

- 1) PLAT SHOWING RESUBDIVISION OF TRACT 1B, BAYER SUBDIVISION INTO TRACT 1B-1 AND TRACT 1B-2, BAYER SUBDIVISION, LOCATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, DATED 09/20/2017, BY ACADIA LAND SURVEYING, LLC, RECORDED AT MAP NO. 5683.
- 2) PLAT SHOWING RESUBDIVISION OF TRACT 2C AND THE REMAINDER OF TRACT 1A OF BAYER SUBDIVISION INTO PARCELS 1 THRU 12, PRIVATE DRIVE SERVITUDE #1 AND PRIVATE DRIVE SERVITUDE #2 FREMAUX TOWN CENTER SUBDIVISION, DATED 02/20/2013, BY ACADIA LAND SURVEYING, LLC.

FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:

FLOOD ZONE: "B" AND "A4 (EL-9)"

COMMUNITY PANEL NO. 2252050420E

EFFECTIVE DATE: 04/21/1999

(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

PLAT SHOWING RESUBDIVISION

OF TRACT 1B-1, BAYER SUBDIVISION

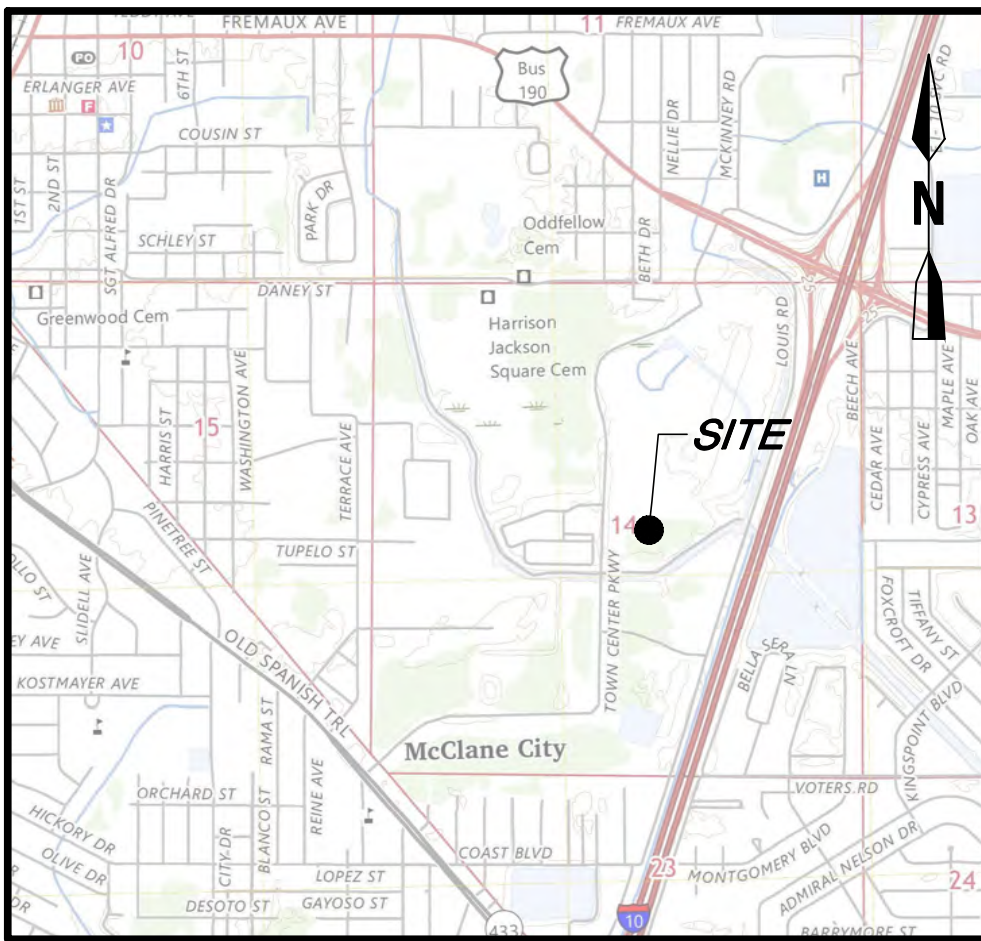
INTO

TRACTS 1B-1-A, 1B-1-B, 1B-1-C AND 1B-1-D

SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST,

CITY OF SLIDELL,

ST. TAMMANY PARISH, LOUISIANA

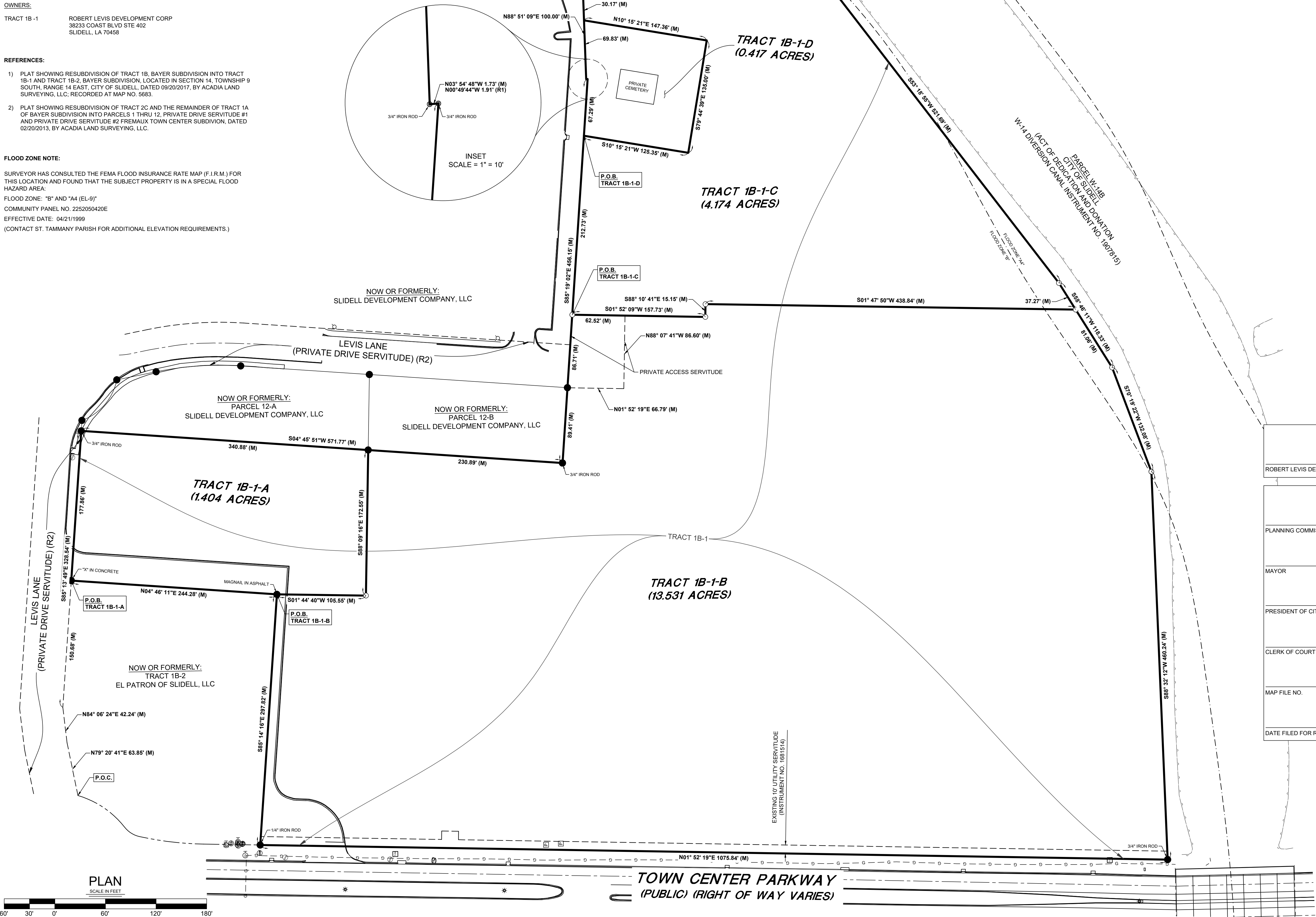


VICINITY MAP

NOT TO SCALE

Legend

- 5/8" CAPPED IRON ROD SET (VF 804)
- FIRE HYDRANT
- FOUND PROPERTY CORNER
- GAS UTILITY MARKER
- GAS VALVE
- LIGHT POLE
- MECHANICAL POINT
- POWER JUNCTION BOX
- POWER TRANSFORMER
- SEWER VAULT
- SEWER MANHOLE
- SIGN POLE
- TELEVISION UTILITY MARKER
- TRAFFIC SIGN
- WATER METER
- WATER VALVE
- PROPERTY LINE
- RIGHT OF WAY LINE
- SERVITUDE LINE
- SETBACK LINE
- CENTERLINE
- TOP BANK
- UNDERGROUND GAS
- MEASURED BEARING AND DISTANCE
- PER REFERENCE NO. 1
- PER REFERENCE NO. 2
- POINT OF COMMENCEMENT
- POINT OF BEGINNING



OWNERS:	
ROBERT LEVIS DEVELOPMENT CORP	DATE
CERTIFICATE OF APPROVAL FOR RECORDING:	
PLANNING COMMISSION CHAIRMAN	DATE
MAYOR	DATE
PRESIDENT OF CITY COUNCIL	DATE
CLERK OF COURT	DATE
MAP FILE NO.	
DATE FILED FOR RECORD	

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY.

PRELIMINARY - NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

SETH J. MOSBY, P.L.S. - LA REG 5073
REGISTERED PROFESSIONAL LAND SURVEYOR
SMOSBY@DDGPC.COM

DATE OF SURVEY: 06/26/2026

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RESUBDIVISION
CITY OF SLIDELL
ST. TAMMANY PARISH, LOUISIANA
CLIENT NAME

DDG
3960BURBANK DRIVE
BATON ROUGE, LA 70808
225.751.4490
SURVEY

PROJECT NO. 23-1223

23-1223_S-2_20260713.DWG

07/02/2026

CHECKED DRAWN BY SJM

SHEET

1-2

S:\23-000\23-1223 FREMEAUX CENTER TARGET\DWG\23-1223_S-2_20260713.DWG

NOTE:
MEASURED BEARINGS BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD83
AS DERIVED FROM THE LSU C4G RTK NETWORK (2026.48).

CONVERGENCE ANGLE: 00°47'08.55"

-

+

+

-

COMBINED SCALE: 0.99993630

CONTROLLING STATION: SLIDELL, LA (SJHS)

LAT: N30°16'49.45683"
LONG: W89°46'47.85776"

GENERAL NOTES:

ZONING: HIGHWAY COMMERCIAL (C4)

FRONT SETBACK = 25 FEET

SIDE SETBACK = NONE ARE REQUIRED EXCEPT WHERE A LOT IS USED FOR A DWELLING OR IN PART FOR A DWELLING AND SHALL BE THE SAME AS FOR THE A-8 RESIDENTIAL DISTRICT.

REAR SETBACK = NONE ARE REQUIRED EXCEPT WHERE A LOT IS USED FOR A DWELLING OR IN PART FOR A DWELLING AND SHALL BE THE SAME AS FOR THE A-8 RESIDENTIAL DISTRICT.

OWNERS:

TRACT 1B - 1ROBERT LEVIS DEVELOPMENT CORP
38233 COAST BLVD STE 402
SLIDELL, LA 70458

- REFERENCES:
- 1) PLAT SHOWING RESUBDIVISION OF TRACT 1B, BAYER SUBDIVISION INTO TRACT 1B-1 AND TRACT 1B-2, BAYER SUBDIVISION, LOCATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, DATED 09/20/2017, BY ACADIA LAND SURVEYING, LLC; RECORDED AT MAP NO. 5683.

2) PLAT SHOWING RESUBDIVISION OF TRACT 2C AND THE REMAINDER OF TRACT 1A OF BAYER SUBDIVISION INTO PARCELS 1 THRU 12, PRIVATE DRIVE SERVITUDE #1 AND PRIVATE DRIVE SERVITUDE #2 FREMAUX TOWN CENTER SUBDIVION, DATED 02/20/2013, BY ACADIA LAND SURVEYING, LLC.

FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:

FLOOD ZONE: "B" AND "A4 (EL-9)"

COMMUNITY PANEL NO. 2252050420E

EFFECTIVE DATE: 04/21/1999

(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

PLAT SHOWING RESUBDIVISION

OF TRACT 1B-1, BAYER SUBDIVISION

INTO

TRACTS 1B-1-A, 1B-1-B, 1B-1-C AND 1B-1-D

SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST,

CITY OF SLIDELL,

ST. TAMMANY PARISH, LOUISIANA

TRACT 1B-1-A LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS TRACT 1B-1-A, BAYER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,
COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 150.68 FEET TO A FOUND "X" IN CONCRETE, BEING THE POINT OF BEGINNING.

THENCE S85°13'49"E A DISTANCE OF 190.31 FEET TO A 3/4" IRON ROD FOUND;
THENCE S04°45'51"W A DISTANCE OF 340.88 FEET TO A 5/8" CAPPED IRON ROD FOUND;
THENCE N88°09'16"W A DISTANCE OF 172.55 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N01°44'01"E A DISTANCE OF 105.55 FEET TO A MAGNAIL FOUND IN ASPHALT;
THENCE N04°46'11"E A DISTANCE OF 244.28 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 1.404 ACRES AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

TRACT 1B-1-B LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS TRACT 1B-1-B, BAYER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,
COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 150.68 FEET TO A FOUND "X" IN CONCRETE, THENCE S04°46'11"W A DISTANCE OF 244.28 FEET TO A MAGNAIL FOUND IN ASPHALT, BEING THE POINT OF BEGINNING.

THENCE S01°44'04"W A DISTANCE OF 105.55 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S88°09'16"E A DISTANCE OF 172.55 FEET TO A 5/8" CAPPED IRON ROD FOUND;
THENCE S04°45'51"W A DISTANCE OF 230.89 FEET TO A 3/4" IRON ROD FOUND;
THENCE S85°19'02"E A DISTANCE OF 176.12 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S01°52'09"W A DISTANCE OF 157.73 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S88°10'41"E A DISTANCE OF 15.15 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S01°47'50"W A DISTANCE OF 438.84 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S58°46'11"W A DISTANCE OF 81.08 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S70°19'22"W A DISTANCE OF 132.08 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S88°32'12"W A DISTANCE OF 460.24 FEET TO A 3/4" IRON ROD FOUND;
THENCE N01°52'19"E A DISTANCE OF 1075.84 FEET TO A 1/4" IRON ROD FOUND;
THENCE S85°14'16"E A DISTANCE OF 297.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 13.531 ACRES AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

TRACT 1B-1-C LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS PARCEL 1B-1-C, BAYER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 328.59 TO A 3/4" IRON ROD FOUND, THENCE S04°45'51"W A DISTANCE OF 571.77 FEET TO A 3/4" IRON ROD FOUND, THENCE S85°19'02"E A DISTANCE OF 176.12 FEET TO A 5/8" CAPPED IRON ROD SET AND THE POINT OF BEGINNING.

THENCE S85°19'02"E A DISTANCE OF 212.73 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S10°15'21"W A DISTANCE OF 125.35 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S79°44'39"E A DISTANCE OF 135.00 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N10°15'21"E A DISTANCE OF 147.36 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE 88°51'09"E A DISTANCE OF 30.17 FEET TO A 5/8" CAPPED IRON ROD SET;
HENCE S00°27'42"W A DISTANCE OF 11.91 FEET TO A 3/4" IRON ROD FOUND;
THENCE S83°58'29"E A DISTANCE OF 75.34 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S41°20'26"E A DISTANCE OF 191.01 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S58°00'04"W A DISTANCE OF 157.40 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S53°18'55"W A DISTANCE OF 521.69 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S58°46'11"W A DISTANCE OF 37.27 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N01°47'50"E A DISTANCE OF 438.84 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N88°10'41"W A DISTANCE OF 15.15 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N01°52'09"E A DISTANCE OF 157.73 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 4.174 ACRES AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.

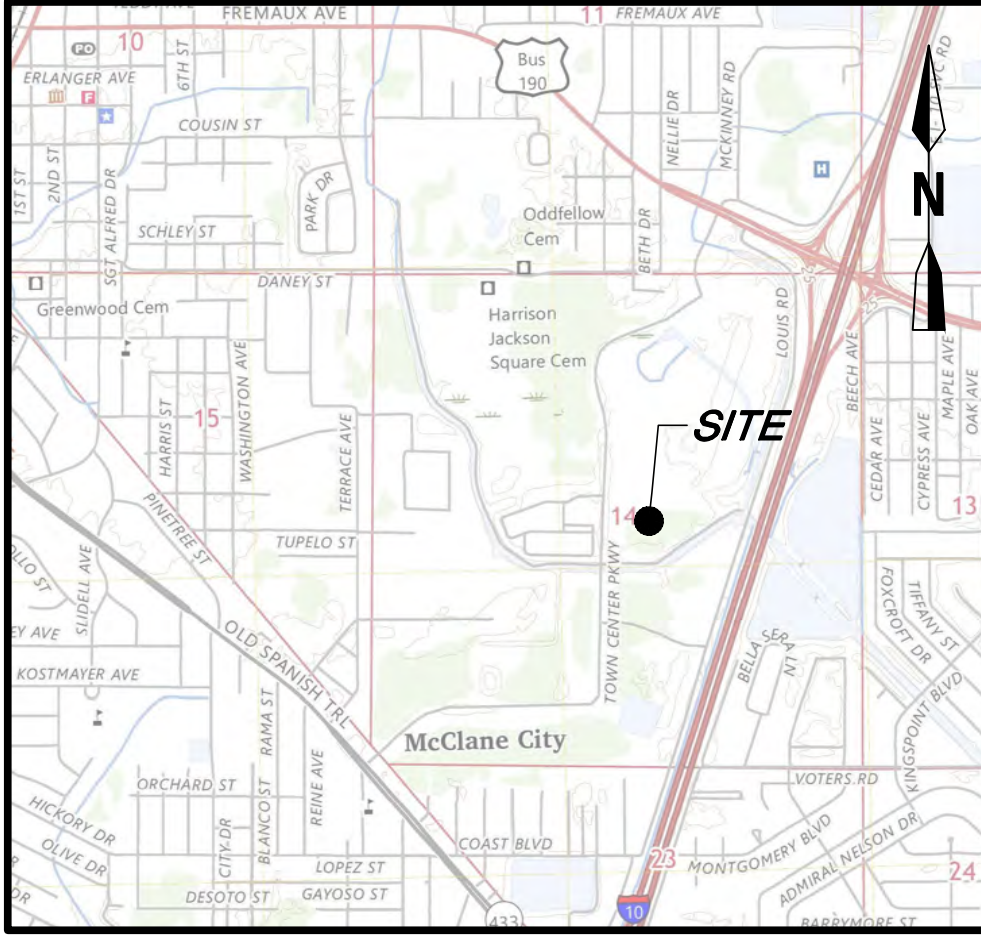
TRACT 1B-1-D LEGAL DESCRIPTION:

THAT CERTAIN TRACT OR PARCEL OF GROUND, DESCRIBED AS PARCEL 1B-1-D, BAYER SUBDIVISION, SITUATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, ST. TAMMANY PARISH, LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

COMMENCING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER PARKWAY AND THE SOUTHERLY RIGHT OF WAY LINE OF LEVIS LANE, THENCE N79°20'41"E A DISTANCE OF 63.85 FEET TO A POINT, THENCE N84°06'24"E A DISTANCE OF 42.24 FEET TO A POINT, THENCE S85°13'49"E A DISTANCE OF 328.59 TO A 3/4" IRON ROD FOUND, THENCE S04°45'51"W A DISTANCE OF 571.77 FEET TO A 3/4" IRON ROD FOUND, THENCE S85°19'02"E A DISTANCE OF 388.85 FEET TO A 5/8" CAPPED IRON ROD SET AND THE POINT OF BEGINNING.

THENCE S85°19'02"E A DISTANCE OF 67.29 FEET TO A 3/4" IRON ROD FOUND;
THENCE N00°49'44"W A DISTANCE OF 1.91 FEET TO A 3/4" IRON ROD FOUND;
THENCE N88°51'09"E A DISTANCE OF 69.83 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE S10°15'21"W A DISTANCE OF 147.36 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N79°44'39"W A DISTANCE OF 135.00 FEET TO A 5/8" CAPPED IRON ROD SET;
THENCE N10°15'21"E A DISTANCE OF 125.35 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 0.417 ACRES AND IS SUBJECT TO ANY SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.



VICINITY MAP

NOT TO SCALE

RESUBDIVISION

CITY OF SLIDELL

ST. TAMMANY PARISH, LOUISIANA

CLIENT NAME

DDG

3960BURBANK DRIVE
BATON ROUGE, LA 70808
225.751.4490
SURVEY

PROJECT NO. 23-1223

23-1223_S-2_20260713.DWG

07/02/2026

CHECKED SJM

DRAWN BY SLM

SHEET

2-2

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY.

PRELIMINARY - NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

SETH J. MOSBY, P.L.S. - LA REG 5073
REGISTERED PROFESSIONAL LAND SURVEYOR
SMOSBY@DDGPC.COM

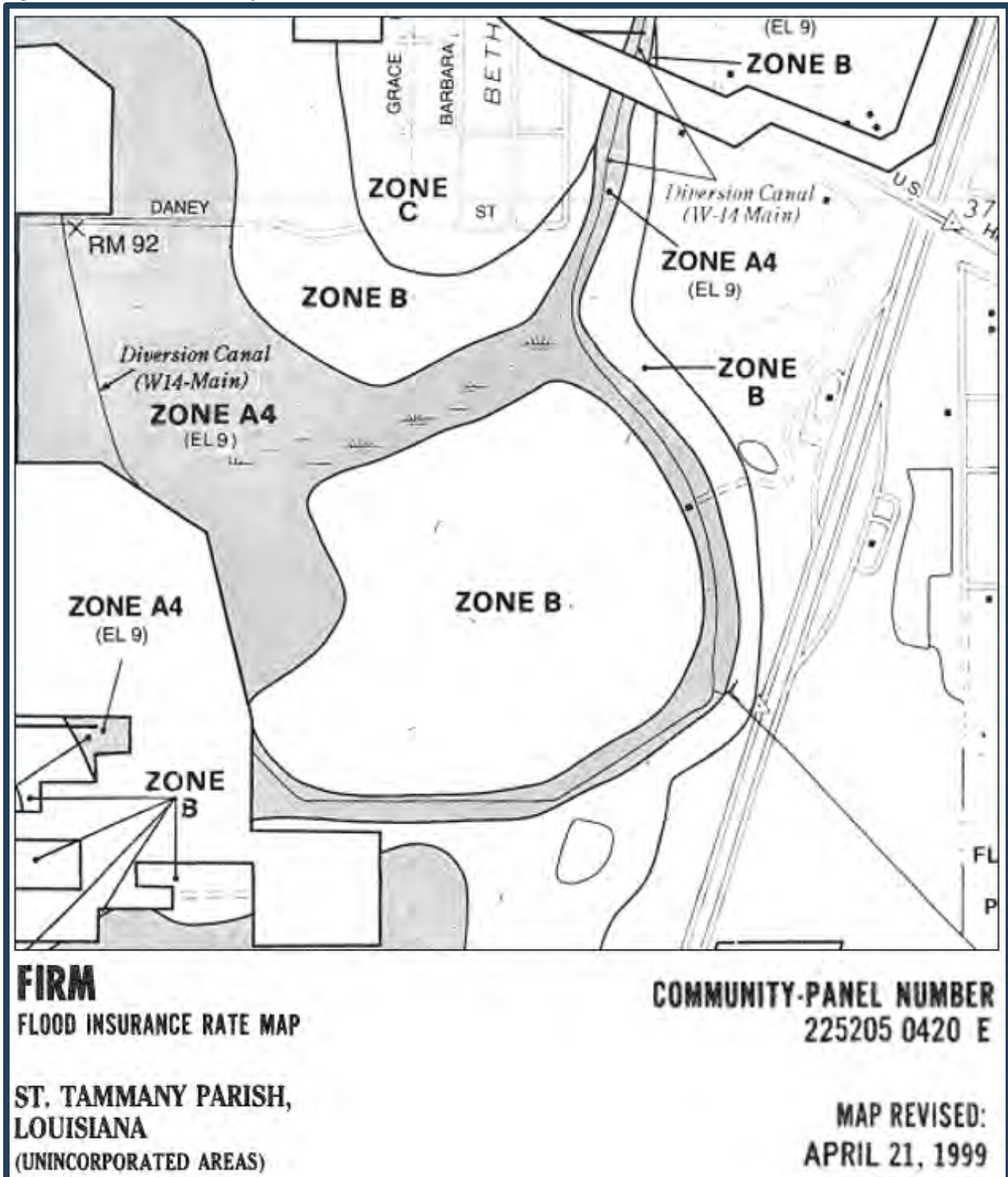
DATE OF SURVEY: 06/26/2026



Figure 6. City Utilities



Figure 7. FEMA Flood Map (Panel 22520 50420 E)





Planning Department

Staff Report

Case No. SUBD2026-0036

Resubdivision of Tract 1B-1B, Bayer Subdivision, and Parcel 12-B, Fremaux Town Center Subdivision into Tract 1B-1B-A, Bayer Subdivision, in Section 14, Township 9 South, Range 14 East for the parcel addressed as
1350 Town Center Parkway

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1350 Town Center Parkway, undeveloped Tax Parcel 86153 (**Figure 1**)

Owner: Robert Levis Development Corp

Applicant: Stirling Properties, Mark Salvetti (Owner Representative)

Zoning: CR Commercial Regional; Height Overlay (if applicable)

Future Land Use: Commercial (**Figure 2**)

Request: Resubdivision of Tract 1B-1B in Bayer Subdivision, and Parcel 12-B in Fremaux Town Center Subdivision, INTO Tract 1B-1B-A, Section 14, T9S, R14E, City of Slidell, St Tammany Parish, Louisiana.

Planning Commission: September 21, 2026

RECOMMENDATION

Planning Department

Approval

FINDINGS

1. The petitioned property is vacant land (**Figure 3**). It is zoned CR Commercial Regional (**Figure 4**).
2. There are future development plans for Tract 1B-1B-A, and possibly 1B-1C.
3. Tract 1B-1D is to be dedicated to the preservation of the historic Native & African American cemetery previously surveyed by the City of Slidell.
4. This is the final step in the arrangement of lot lines for site development of 1350 Town Center Parkway with a Target store, the preservation of the cemetery, and the creation of development lots within the remaining land area for pending retail and service establishments. (**Figure 5**).
5. Currently, this tract has access to a 4-inch sewer line and a 10-inch water line along Levis Lane and Town Center Pkwy, and other utilities through the existing 10-foot Utility Easement along Town Center Pkwy. (**Figure 6**)
6. The property is in a special flood hazard area, in flood zone B with approximate ground elevation of 11.5 feet. (**Figure 7**)

FIGURES

Figure 1. Location Aerial



Figure 2. Future Land Use Map (Comp Plan 2040)

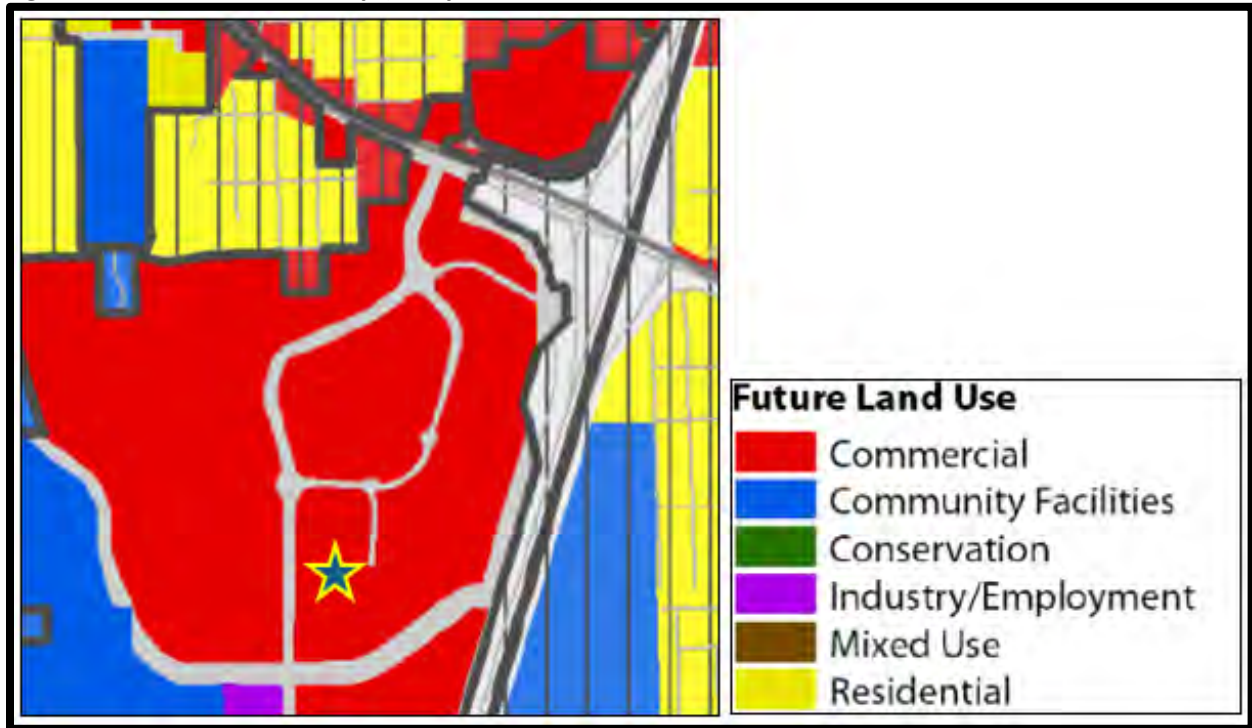


Figure 3. Street View



Figure 4. City Zoning (CR Commercial Regional)



Figure 5. Proposed Resubdivision

FULL SUBDIVISION PLAT – NEXT PAGE

PLAT SHOWING RESUBDIVISION

OF PARCEL 12-B, FREMAUX TOWN CENTER SUBDIVISION
AND TRACT 1B-1-B, BAYER SUBDIVISION
INTO
TRACT 1B-1-B-A
SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST,
CITY OF SLIDELL,
ST. TAMMANY PARISH, LOUISIANA

NOTE:
MEASURED BEARINGS BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD83
AS DERIVED FROM THE LSU C4G RTK NETWORK (2026.48).

CONVERGENCE ANGLE: 00°47'08.55"
COMBINED SCALE: 0.99993630

CONTROLLING STATION: SLIDELL, LA (SJHS)

LAT: N30°16'49.45683"
LONG: W89°46'47.85776"

GENERAL NOTES:

ZONING: REGIONAL COMMERCIAL DISTRICT (CR)

FRONT SETBACK = 25 FEET

SIDE SETBACK = 10 FEET

REAR SETBACK = 25 FEET

OWNERS:

TRACT 1B-1-B AND PARCEL 12-B
ROBERT LEVIS DEVELOPMENT CORP
38233 COAST BLVD STE 402
SLIDELL, LA 70458

REFERENCES:

- 1) PLAT SHOWING RESUBDIVISION OF TRACT 1B, BAYER SUBDIVISION INTO TRACT 1B-1 AND TRACT 1B-2, BAYER SUBDIVISION, LOCATED IN SECTION 14, TOWNSHIP 9 SOUTH, RANGE 14 EAST, CITY OF SLIDELL, DATED 09/20/2017, BY ACADIA LAND SURVEYING, LLC; RECORDED AT MAP NO. 5683.
- 2) PLAT SHOWING RESUBDIVISION OF TRACT 2C AND THE REMAINDER OF TRACT 1A OF BAYER SUBDIVISION INTO PARCELS 1 THRU 12, PRIVATE DRIVE SERVITUDE #1 AND PRIVATE DRIVE SERVITUDE #2 FREMAUX TOWN CENTER SUBDIVISION, DATED 02/20/2013, BY ACADIA LAND SURVEYING, LLC.

FLOOD ZONE NOTE:

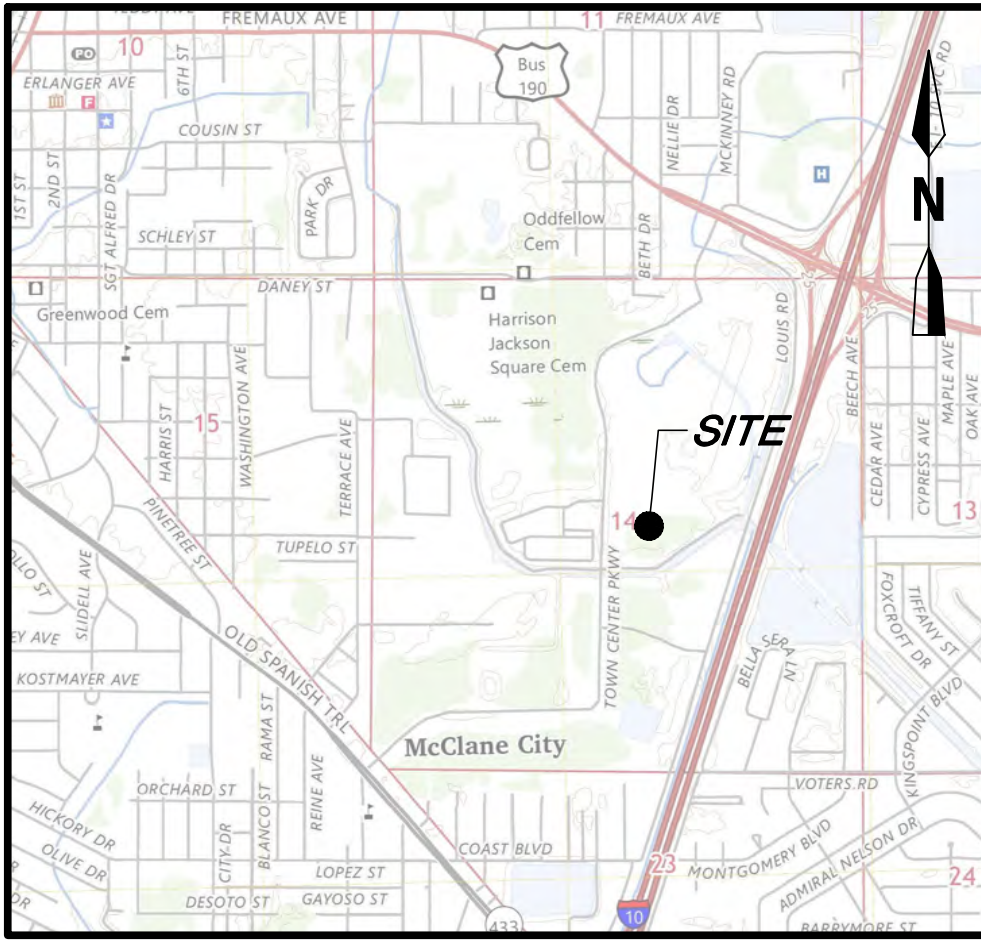
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:

FLOOD ZONE: "B" AND "A4 (EL-9)"

COMMUNITY PANEL NO. 2252050420E

EFFECTIVE DATE: 04/21/1999

(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

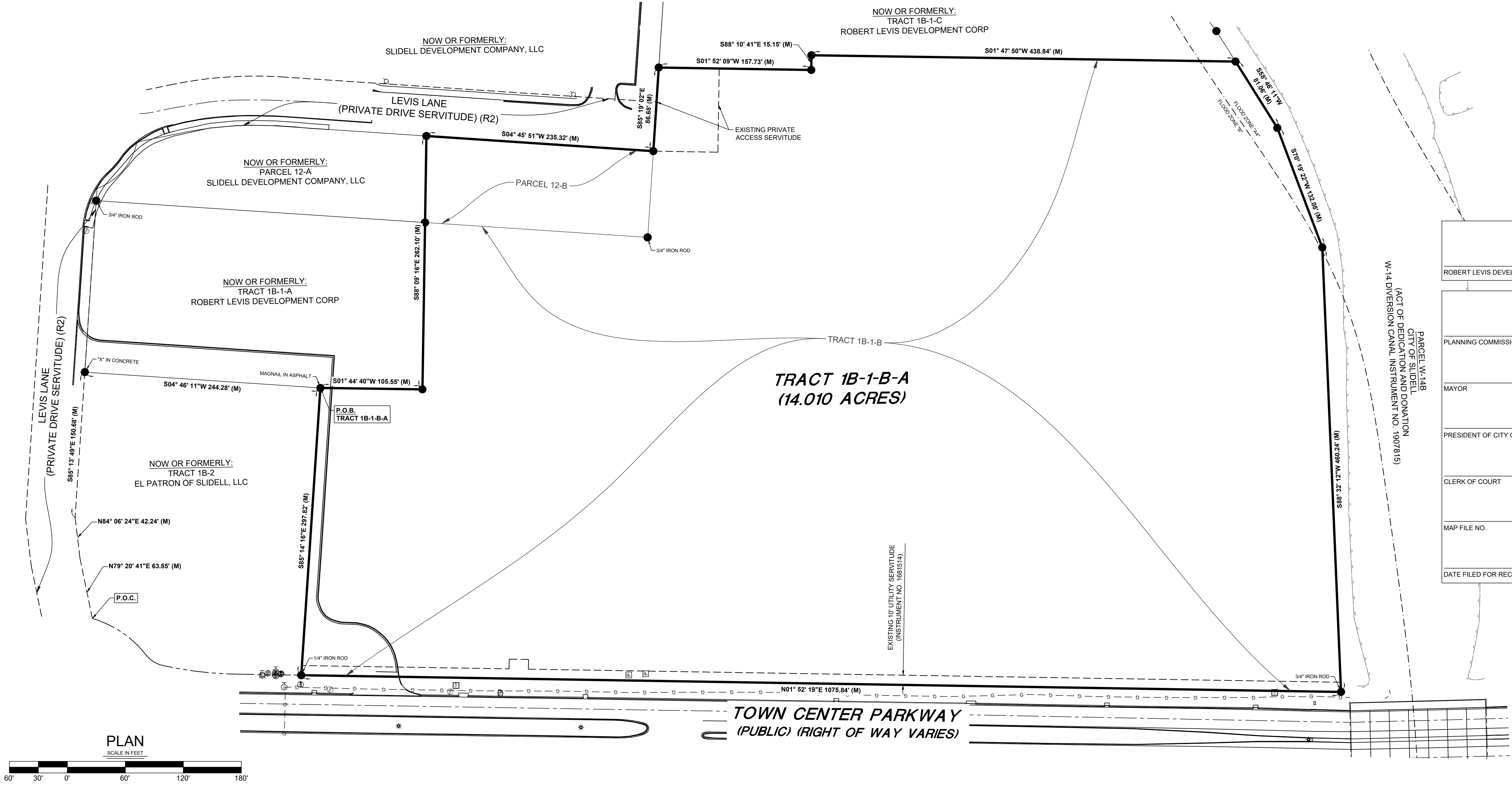


VICINITY MAP

NOT TO SCALE

Legend

- 5/8" CAPPED IRON ROD SET (VF 804)
- FIRE HYDRANT
- FOUND PROPERTY CORNER
- GAS UTILITY MARKER
- GAS VALVE
- LIGHT POLE
- MECHANICAL POINT
- POWER JUNCTION BOX
- POWER TRANSFORMER
- POWER VAULT
- SEWER MANHOLE
- SIGN POLE
- TELEVISION UTILITY MARKER
- TRAFFIC SIGN
- WATER METER
- WATER VALVE
- PROPERTY LINE
- RIGHT OF WAY LINE
- SERVITUDE LINE
- SETBACK LINE
- CENTERLINE
- TOP BANK
- UNDERGROUND GAS
- (M) MEASURED BEARING AND DISTANCE
- (R1) PER REFERENCE NO. 1
- (R2) PER REFERENCE NO. 2
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING



OWNER:	
ROBERT LEVIS DEVELOPMENT CORP	DATE
CERTIFICATE OF APPROVAL FOR RECORDING:	
PLANNING COMMISSION CHAIRMAN	DATE
MAYOR	DATE
PRESIDENT OF CITY COUNCIL	DATE
CLERK OF COURT	
MAP FILE NO.	
DATE FILED FOR RECORD	

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY.

PRELIMINARY - NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

SETH J. MOSBY, P.L.S. - LA REG 5073
REGISTERED PROFESSIONAL LAND SURVEYOR
SMOSBY@DDGPC.COM

DATE OF SURVEY: 06/26/2026

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RESUBDIVISION
CITY OF SLIDELL
ST. TAMMANY PARISH, LOUISIANA
CLIENT NAME

DDG
3960BURBANK DRIVE
BATON ROUGE, LA 70808
225.751.4490
SURVEY

PROJECT NO. 23-1223

23-1223_S-3_20260713.DWG

07/02/2026

CHECKED _____ SJM

DRAWN BY _____ SLM

SHEET

1-1

Figure 6. City Utilities



Figure 7. FEMA Flood Map (Panel 22520 50420 E)

