

City of Slidell, Louisiana
**Planning Commission
Agenda**



SCAN ME
for the
PC website

August 17, 2026 at 7:00pm

Council Chambers, 2045 2nd St, Slidell, LA

Agenda packet available at myslidell.com/planning/boards/pz

For questions or to provide public comment before the meeting,
email PZ@cityofslidell.org or call (985) 646-4320 (M-F 8am to 4:30pm)

- Please silence all phones and electronic devices.
- For all Appeals, fees apply per Appendix F of the City of Slidell Municipal Code.
- All Speakers must sign in at the podium before speaking on any issue.
- Public Speaking – 5 minutes is allowed per each side and 3 minutes for additional comments.
- Please exit the building immediately after the conclusion of the meeting.

1. **Call to Order and Roll Call**

2. **Pledge of Allegiance**

3. **Minutes.** Approve minutes from July 20, 2026

4. **Public Hearing**

- a. **AZ2026-0004:** A request to annex property into the City of Slidell that parcel of land containing 2.12 acres addressed as 2081 Gause Blvd East, located at the southeast corner of Pearl Acres Road, identified as Lot 1A Square 24 Pearl Acres Subdivision; and, establishing the City zoning classification as CC Corridor Commercial.
- b. **AZ2026-0005:** A request to annex property into the City of Slidell that 54.58 acre parcel of land addressed as 39200 Highway 190 East on the southeast corner of Hwy 190 East at Brookter Street; located in Section 13, T9S, R14E; and, establish City zoning classification as CC Commercial Corridor.

5. **Other Business**

- a. **SUBD2026-0030:** A request for a resubdivision of nine lots totaling 1.64 acres into one lot of record addressed 1353 11th Street and to be identified as Lot 26A, Square 48, Brugier Addition, Section 10, T9S, R14E, Greensburg Land District, City of Slidell, St Tammany Parish, Louisiana
- b. **SUBD2026-0031:** A request for a resubdivision of Tract 3-B-2, 3-B-3, and Tract 3-A, into Tract 3-A-1, located at 2055 Town Center Pkwy, in Fremaux Subdivision, Section 14, T9S, R14E, City of Slidell, St Tammany Parish, Louisiana.

6. **General and Public Comments**

7. **Adjournment**

The next Planning Commission meeting will be September 21, 2026.



City of Slidell, Louisiana
Planning Commission
Minutes

July 20, 2026 @ 7:00 p.m.

Council Chambers, 2045 2nd Street, Slidell, LA

1. **Call to Order and Roll Call.** Meeting called to order by Chair Green at 7:00 p.m.

Commissioners Present

Gayle Green, Chair
Richard Reardon, Vice Chair
Sandy Hicks-7:02 P.M.
Chad Duffaut, Jr.

Commissioners Not Present

Michael Newton

Staff Present

Daniel McElmurray, Planning Director
Erica Smith, Planning Secretary

2. **Pledge of Allegiance**

3. **Minutes.** Motion by Vice Chair Reardon to approve minutes of June 15, 2026 as written; Commissioner Duffaut seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved the minutes.

4. **Public Hearing**

- a. ~~**AZ 2026-0004:** A request to annex into the City of Slidell property located containing a total 5.491 acres at 2081 Gause Blvd East; identified as Lots 1A and 5A in Square 24, Pearl Acres Subdivision, and establish City zoning classification as CC – Commercial Corridor. (DEFERRED TO AUGUST 17)~~
- b. **DEXCP 2026-0004:** Proposed construction of 180' monopole tower within a 50' x 50' compound plus access easement at 620 Carollo Drive.

Introduced by Chair Green. Director McElmurray addressed the Commission and recommended approval. Commissioner Duffaut made a motion to approve DEXCP2026-0004, subject to submittal of details and plans that are stamped and signed by a Louisiana licensed Engineer. Vice Chair Reardon seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved DEXCP2026-0004

5. **Other Business**

- a. **SUBD2026-0029:** A request for Preliminary Plat approval for that property identified as 1450 Gause Blvd West, containing 52 lots on 21.16 acres, zoned R3 High Density Residential; situated in Section 4 Township 9 South, Range 14 East, City of Slidell, Parish of St Tammany, State of Louisiana.

Introduced by Chair Green. Ms. Katherine Mire, attorney for H1 Associates, was present to answer questions. Director McElmurray addressed the Commission and recommended approval. Vice Chair Reardon made a motion to approve SUBD2026-0029, subject to corrections as stated and forward to City Council with a favorable recommendation. Commissioner Hicks seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved SUBD2026-0029.

6. **General and Public Comments.** There were none.

7. **Adjournment.** Meeting adjourned at 7:28 p.m. on a motion by Commissioner Duffaut, seconded by Vice Chair Reardon, and a vote of 4 YAYS, 0 NAYS, 0 ABSTAIN.



STAFF REPORT

Case No. AZ 2026-0004

Annexation of that parcel of land
containing 2.12 acres addressed as
2081 Gause Blvd East

Planning Department

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 2081 Gause Boulevard East (*Figure 1, Figure 2*)

Petitioner(s): Dane Hocott, GM & CEO for Washington St. Tammany Electric Cooperative, Inc., non-resident property owner representative

Zoning: Parish Zoning: HC-2 Highway Commercial District

Future Land Use: Commercial (*Figure 3*)

Requests: Annex and establish City zoning classification as CC – Corridor Commercial

Parish Concurrence: Needed; request sent on July 20, 2026

Planning & Zoning Commissions

Public Hearing: August 17, 2026

City Council (tentative)

Consent Agenda: August 25, 2026

Public Hearing: September 8, 2026

RECOMMENDATIONS

Planning Department

APPROVAL

Planning Commission

TBD

FINDINGS

1. The property identified as Lot 1A contains 2.12 acres, developed commercially with an existing office building on-site. (*Figure 2, Figure 4*)
2. The petitioned property has:
 - No registered voters (Certificate of Registrar of Voters dated June 23, 2026);
 - No resident property owners; and
 - The petitioned property has an assessed value of \$566,488. Non-resident property owners representing (100%) of the assessed value of the petitioned property signed by one corporate property owner, a representative of which signed the Annexation Petition on June 24, 2026.
 - One corporate property owner, a representative of which signed the Annexation Petition.
3. The petitioned property is contiguous with the City's corporate limits via 67% of shared boundaries. (*Figure 2*)
4. It is to be noted that a separate parcel located south of the property petitioned for annexation, Lot 5A; Square 24 Pearl Acres Subdivision, will remain within Parish jurisdiction. It is currently zoned HC-2, (Highway Commercial).

5. Zoning is consistent with the 2040 Comprehensive Future Land Use Map (**Figure 3**)
6. The subject property is zoned by the Parish as NC-2 Neighborhood Commercial (**Figure 5**).
7. The applicant requests establishment of City zoning as CC - Commercial Corridor (**Figure 6**) to coincide with CC zoning of all surrounding properties. CC allows similar uses as HC-2; it does allow more intense uses.
8. For the purpose of the Sales Tax Enhancement Plan, the property is developed commercial. The Parish needs to concur in this annexation; the Planning Department sent a certified letter on July 20, 2026.
9. The subject property is located on a major arterial collector road – Guase Boulevard East.
4. City water is immediately adjacent to the property along the north ROW line of Gause Blvd E (12 inch main). There is an 8” gravity sewer line immediately adjacent to the north in the ROW along Gause Blvd E. (**Figure 7**).
5. The property is in Flood Zone X with an approximate ground elevation of 13.1 feet. (**Figure 8**)

RECOMMENDATION

The Planning Department finds the annexation and zoning map amendment requests meet applicable requirements, are appropriate and reasonable for the following reasons:

- Immediate adjacency of available City utility services.
- Configuration of municipal boundaries to fill in gaps and absorb island areas, extending the City's natural boundaries.
- Supported by the City's Comprehensive Plan

FIGURES

Figure 1. Site Location



[illegible]

Figure 3. Future Land Use Map (Slidell 2040 Comprehensive Plan)

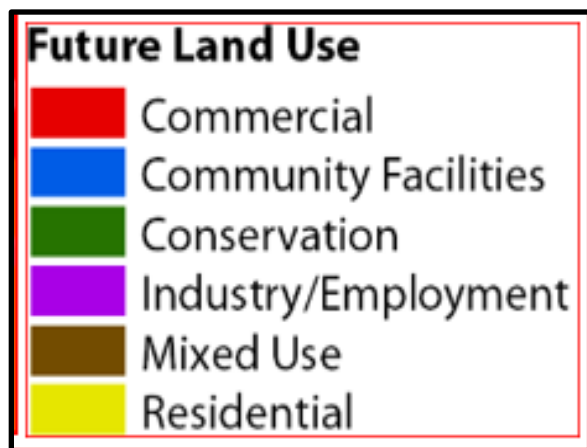
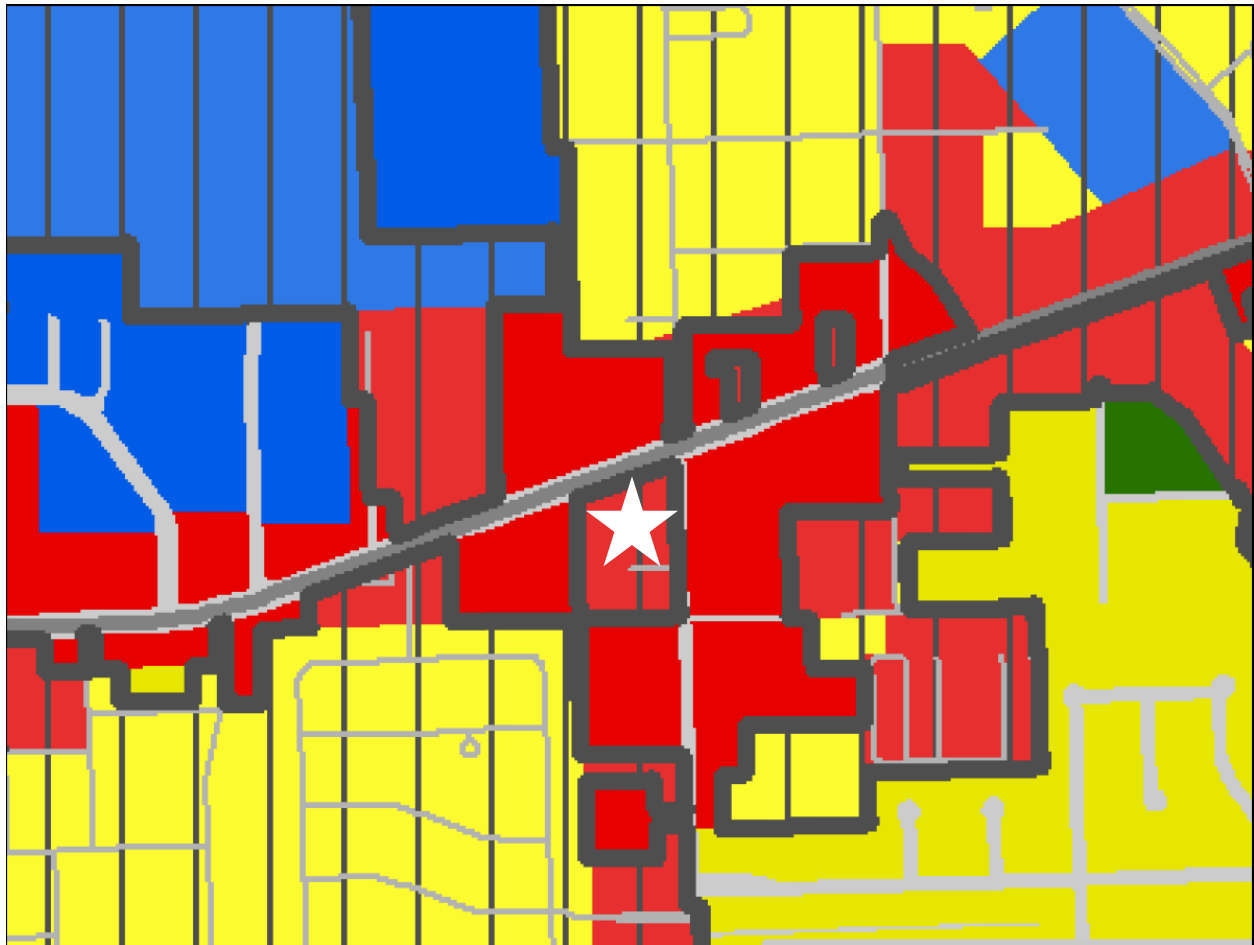


Figure 4. Street View (Google November 2025)



Figure 5. Parish Zoning



Figure 6. City Zoning

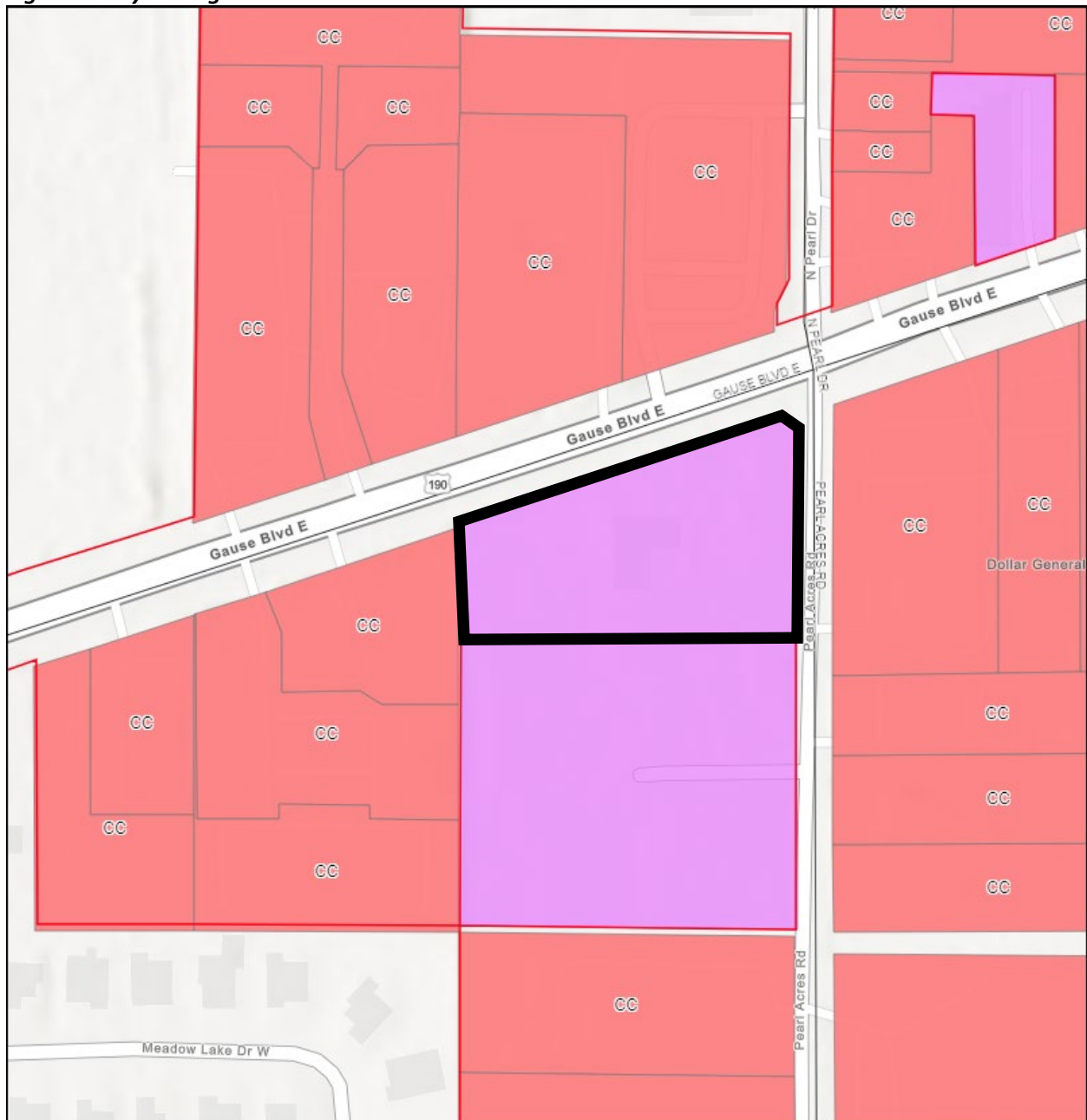


Figure 7. City of Slidell Utilities

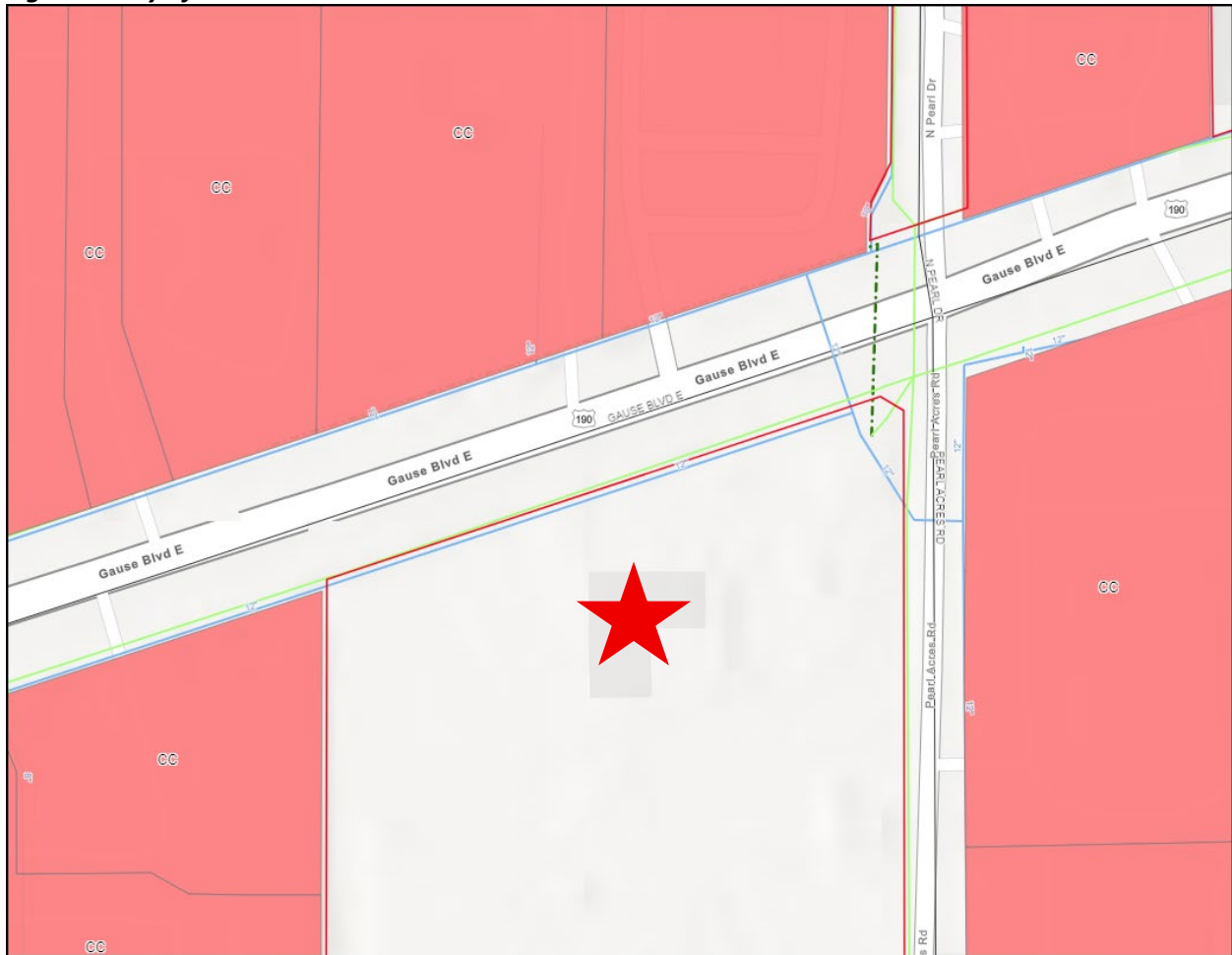
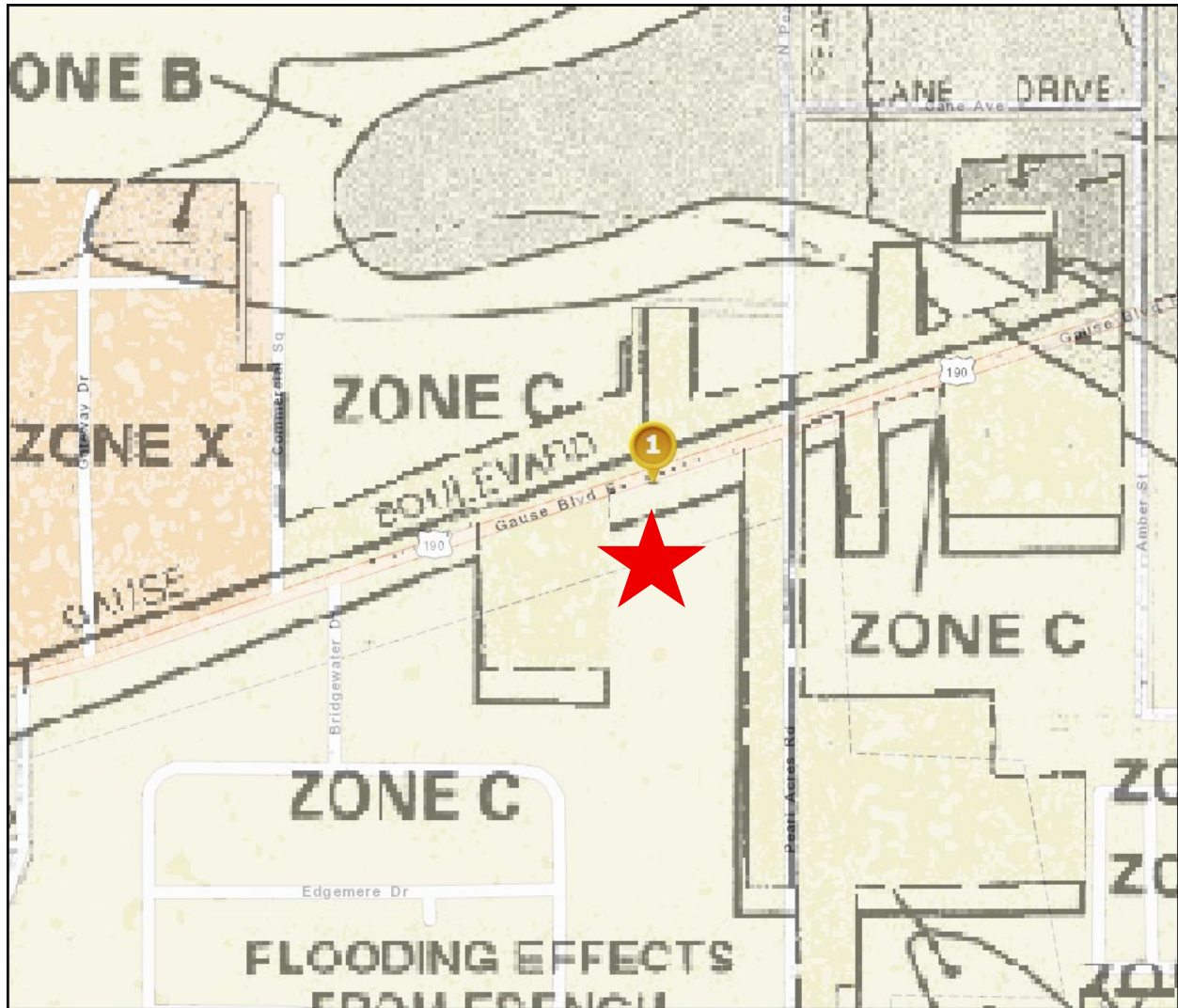


Figure 8. FEMA Flood Map Panel (Effective FIRM)





STAFF REPORT

Case No. AZ2026-0005

Annexation and Establishment of City Zoning Classification of
54.58 acres at the SE corner of Hwy 190 E and Brookter Street addressed
39200 Highway 190 East

Planning Department

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 39200 Hwy 190 East (**Figure 1**)

Petitioner(s): Non-Resident, Non-Registered Voters (**Findings #2**)

Zoning: Parish HC-2, M-L, and CBF-1

Future Land Use: Commercial (**Figure 2**)

Request: Annex and establish City zoning classification as CC – Commercial Corridor

Parish Concurrence: Needed; request sent on July 27, 2026

Planning & Zoning Commissions

Public Hearing: August 17, 2026

City Council (tentative)

Consent Agenda: August 25, 2026

Public Hearing: September 8, 2026

RECOMMENDATIONS

Planning Department

APPROVAL

Planning & Zoning Commissions

To be determined

FINDINGS

1. The petitioned property contains 54.58 acres and is partially developed with soccer fields in the southwest quadrant, located along Highway 190 East on the east side of Interstate 10. (**Figures 1 and 3**).
2. The petitioned property has the following non-resident owners who are not registered to vote within this polling district:

Non-Resident Owner	Represented by	Ownership Percentage	Registered Voters within Property
Soccer Field LLC	James Scott Ware	83.33%	-0-
Elise Miller	Individual	1.39%	-0-
Michael Devidts	Individual	1.39%	-0-
Marc Devidts	Individual	1.39%	-0-
William Zeller	Individual	2.083%	-0-
Kathryn Josephson	Individual	2.083%	-0-
Regina Daigrepoint	Individual	4.167%	-0-
Melissa Rousseau	Individual	4.167%	-0-

3. The petitioned property has:
 - No registered voters (Certificate of Registrar of Voters dated December 5, 2025);
 - No resident property owners;
 - The petitioned property has an assessed value of \$15,412.00;
 - Eight (8) non-resident property owners, all of which signed the Annexation Petition (Certificate of Ownership and Assessed Valuation dated February 10, 2026 (Ware), and Assessor's report (2026) identifying remaining owners) (**Figure 4**).
4. The petitioned property is contiguous with the City's corporate limits via simultaneous annexation of Highway 190 East right-of-way umbilical as provided for in the Letter of No Objection from the Louisiana Department of Transportation & Development, connecting to the City at the right-of-way at East I-10 Service Road and the property addressed 39109 Highway 190 East (**Figure 5**)
4. The subject property is zoned by the Parish as HC-2 Highway Commercial, CBF-1 Community Based Facilities, and M-L Low Multiple-Family (**Figure 6**). The applicants propose to establish City zoning as CC Commercial Corridor; CC allows similar uses as HC-2 and it does not allow more intense uses.
5. For the purpose of the Sales Tax Enhancement Plan, the property is undeveloped commercial or non-commercial that is less than 90% surrounded by the City with proposed City zoning that is not more intense. The Parish needs to concur in this annexation; the Planning Department sent a certified letter on July 27, 2026.
6. Other nearby properties on Hwy 190 East are zoned City CR Commercial Regional and Parish HC-2 and S-1 (Suburban Residential) (**Figures 6 and 7**).
7. The application of the CC Commercial Corridor zoning district is appropriate for this location because of its location on a state highway and proximity to other properties with the same or similar commercial zoning, and distance from the Interstate 10 corridor.
8. Property developers have expressed an interest in extending the City's water and sewer from its current extent at East I-10 Service Road and Shortcut Hwy, which measuring along the north right-of-way line of Hwy 190 East at Hoover Dr, is approximately 1,680 feet for water, and for sewer, approximately 1,700 feet (**Figure 8**).
9. With developers' interest in this extension of City services along Hwy 190 East, this allows for the expansion of city services and an opportunity to extend the city's municipal boundaries.
10. According to FEMA Flood Map, Panel 225205 420 E, the property is within Zone C (area outside 500-year floodplain), and as identified on the Preliminary FIRM as AE, EL 12. An approximate ground elevation for the site is 11.7 feet. (**Figure 9**)
3. The Planning Department finds the annexation is reasonable for the following reasons:
 - Planned or possible extension of City services (**Figure 8**).
 - Expansion of municipal boundaries following natural and manmade boundaries.
 - Character of the area is needed for future urban expansion.
 - Supported by the City's Comprehensive Plan (**Figure 2**).

FIGURES

Figure 1. Location Aerial

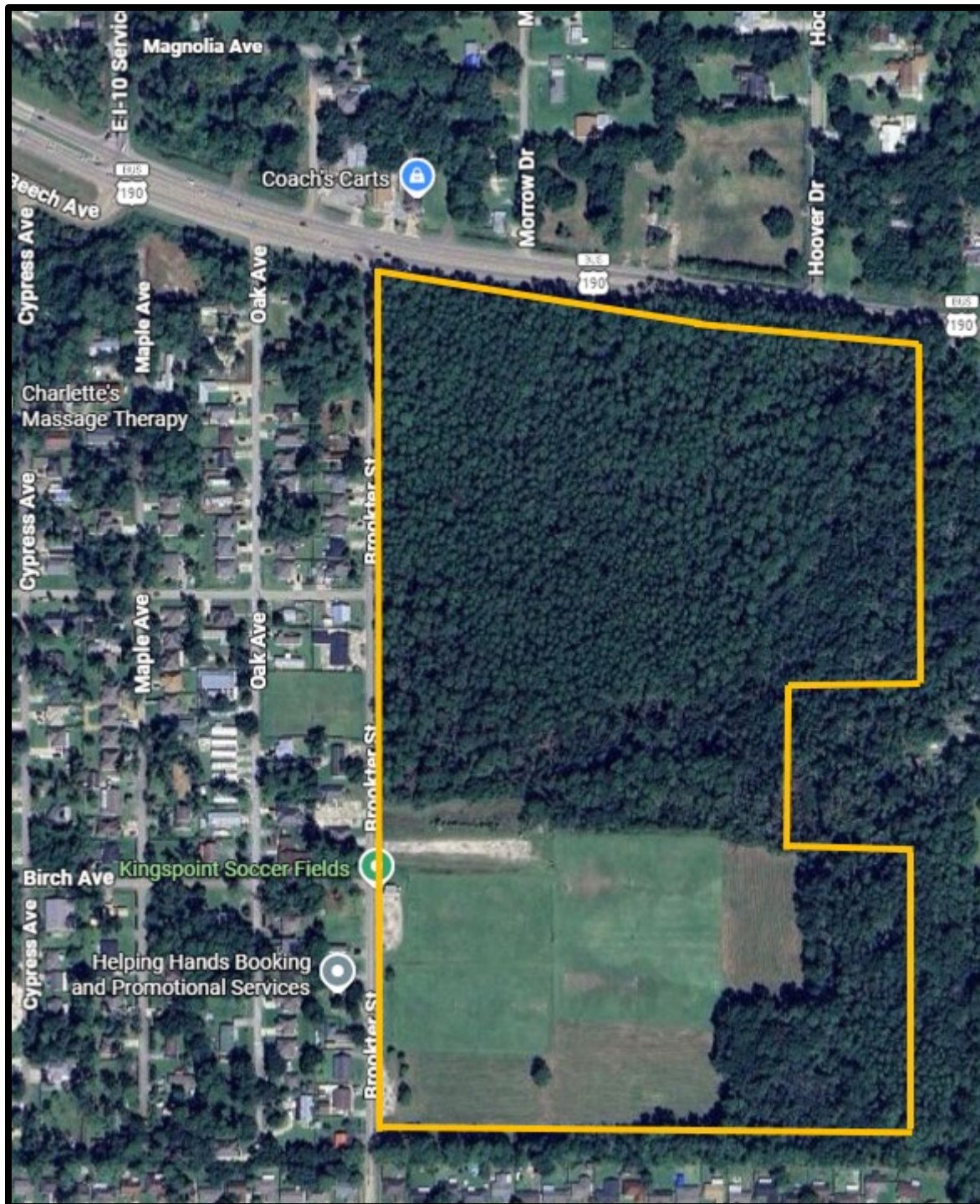


Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

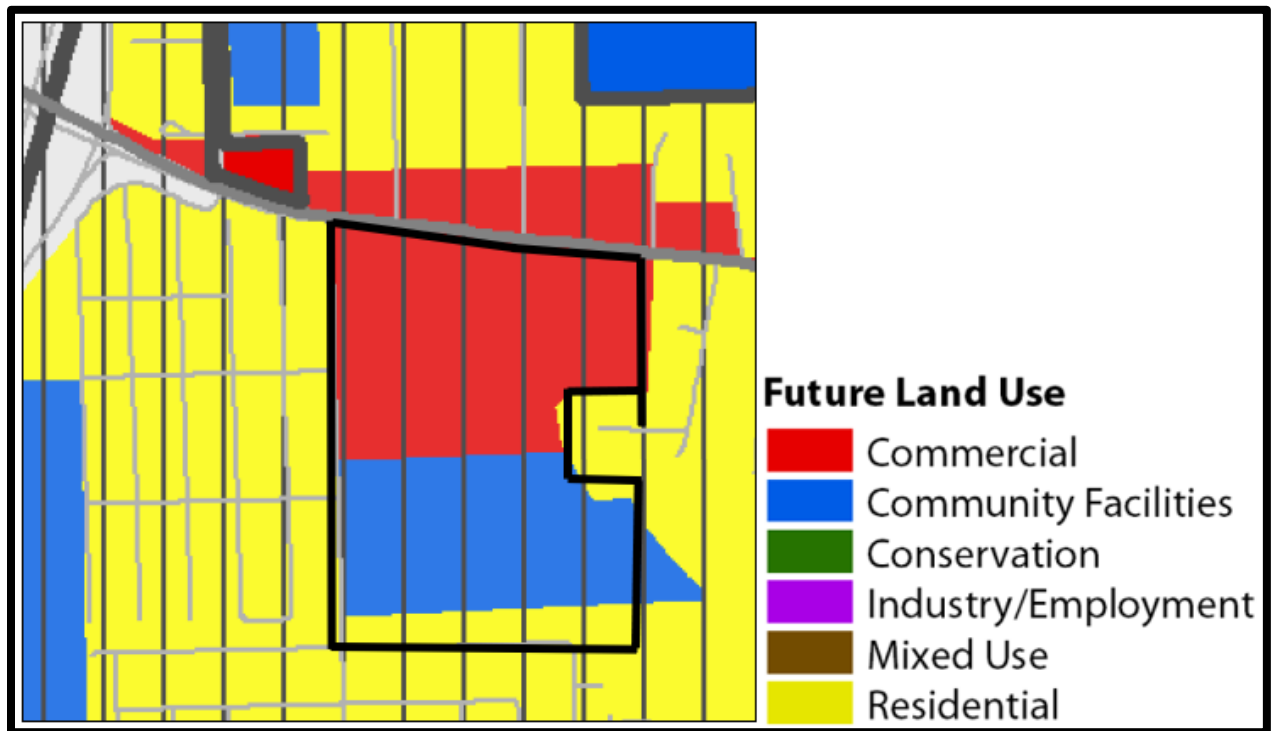


Figure 3. Street View (Google – Dec. 2025)





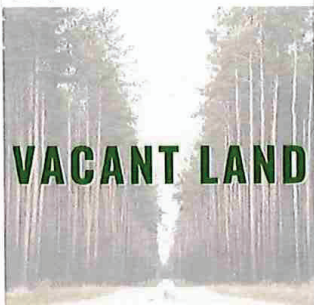
Figure 4. Property Owners' Assessment Report (2026)

(See following pages)

Current 12/30/2025 ACTIVE REID: 36529

Go To Abstract Condo/Leaseholds PIN History Transfer Other

Images



Quick Info:

Owner: SOCCER FIELD LIMITED LIABILITY COMPANY
MILLER, ELISE
PIN: 1100-16-3406
Location: 57290 BROOKTER RD
Description: 54.5823 ACS MIL BEING E .50 OF NW .25 SEC 13 9 14 CB 229 624 CB 371 186 CB
Market Area: CFRAV24
Acres: 54.00
Building Type:
Old Assessment Number: 1100163406
Parcel Note:

Property Value

	Count	Value
Land	1	\$15,412
Building	0	
Misc Imprv	0	
Total Appraised		Cost \$15,412

Assessment Year : 2026

Total Assessed	Taxable Assessed	Total Tax
\$1,541	\$1,541	\$197.86

Last Sale on Parcel

Price:	Package	Land
Date:		03/16/2005
Status:		QUALIFIED

Work Center

Create Work Item

Work Type	Work Count	View Work
Value Review	1	

Parcel » Parcel Summary

Ownership

Property

Situs

Narratives

Owner

Open

Owner: SOCCER FIELD LIMITED LIABILITY COMPANY
MILLER, ELISE
Location: 57290 BROOKTER RD
Mailing Address: PO BOX 12391
ALEXANDRIA LA 71315

Documents

Deed/Doc: 1483661
Deed Date: 03/16/2005
Book of Maps:
Plat Ref:

Flags:

Change Orders:None

Assessment Number: 36529

Tax Rate Year: 2026

Abstract Type: REI

Assessment Year: 2026

Abstract Status: New

Listing Type: 000000

Owners									Situs	
									Physical Address	
Owner Id	Name	Mailing Address	Owner Type	Owner Sub Type	Group Number	Group Type	Owner Order	Ownership %		
350792	SOCCER FIELD LIMITED LIABILITY COMPANY	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		1	BUSINESS	1	83.33%	57290 BROOKTER RD SLIDELL 70461	
									Tax Jurisdiction	Percent
									ST TAMMANY PARISH	100
411577	MILLER, ELISE	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		2	INDIVIDUAL	2	1.39%	10	100
									40-TIM-FIRE-PROT-FEE	100
									REC DISTRICT 16	100
411578	DEVIDTS, MICHAEL	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		3	INDIVIDUAL	3	1.39%		
411579	DEVIDTS, MARC	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		4	INDIVIDUAL	4	1.39%		
411580	ZELLER, WILLIAM	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		5	INDIVIDUAL	5	2.083%		
411581	JOSEPHSON, KATHRYN	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		6	INDIVIDUAL	6	2.083%		
411582	DAIGREPONT, REGINA	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		7	INDIVIDUAL	7	4.167%		
411583	ROUSSEAU, MELISSA	PO BOX 12391 ALEXANDRIA LA 71315	INDIVIDUAL		8	INDIVIDUAL	8	4.167%		

Property

Appraised Value: \$15,412

Assessed Acreage: 54

Deeded Acreage: 0

Calculated Acreage:

Instrument Number: 1483661

Deed Date: 3/16/2005 10:00:00 AM

Listing Received Date:

Listing Flag: On Time

Extension Date:

Property Description: 54.5823 ACS M/L BEING E .50 OF NW .25 SEC 13 9 14 CB 229 624 CB 371 186 CB 1402 639 CB 1425 906 CB 1442 245 INST 892750 INST NO 1483661

Lender

Add a Lender

Reductions/Freezes

Assessed Land Value: \$1,541

Assessed Improvement Value: \$0

Total Assessed Value: \$1,541

Add a Reduction/Freeze

Parish Reduction Amount: \$0

City Reduction Amount: \$0

Total Reduction Amount: \$0

Taxes

Total Taxable Assessed Value: \$1,541

Total Tax Amount: \$197.86

Parish Tax Amount: \$197.86

City Tax Amount: \$0

Ad Hoc Fees

Add	Fee	District	Fee Source	Rate Type	Rate	Quantity	Fee Amount
Edit Delete	Timberland Fire Protection Fee	Parish Wide	Parish	Per Unit	0.08	54	\$4.32

Schedule Items

Parish Mills : 125.61

City Mills : 0

Millage	District	Schedule Source	Schedule Type	Rate Type	Tax Rate	Tax Amount Before Exemption	Tax Amount
✓ Alimony 1 (Parish Maint.)	Tax district 010	Parish	Tax	Mils	2.89	\$4.45	\$4.45
✓ Fire Dist 01	Tax district 010	Parish	Tax	Mils	32.41	\$49.94	\$49.94
✓ Slidell Hospital District	Tax district 010	Parish	Tax	Mils	5.99	\$9.23	\$9.23
✓ Animal Shelter	Parish Wide	Parish	Tax	Mils	1	\$1.54	\$1.54
✓ Assessment District	Parish Wide	Parish	Tax	Mils	2	\$3.08	\$3.08
✓ Coroner's Millage	Parish Wide	Parish	Tax	Mils	0	\$0	\$0
✓ Council On Aging/STARC	Parish Wide	Parish	Tax	Mils	1.69	\$2.60	\$2.60
✓ Drainage Maintenance	Parish Wide	Parish	Tax	Mils	1.56	\$2.40	\$2.40
✓ Florida Par. Juv. Center	Parish Wide	Parish	Tax	Mils	2.9	\$4.47	\$4.47
✓ Law Enforcement	Parish Wide	Parish	Tax	Mils	10.31	\$15.89	\$15.89
✓ Library	Parish Wide	Parish	Tax	Mils	4.35	\$6.70	\$6.70
✓ Mosquito Dist 2	Parish Wide	Parish	Tax	Mils	2.27	\$3.50	\$3.50
✓ School Additional Support	Parish Wide	Parish	Tax	Mils	2.55	\$3.93	\$3.93
✓ School Additional Support Tax	Parish Wide	Parish	Tax	Mils	4.09	\$6.30	\$6.30
✓ School Constitutional Tax	Parish Wide	Parish	Tax	Mils	3.22	\$4.96	\$4.96
✓ School Debt Service	Parish Wide	Parish	Tax	Mils	13.7	\$21.11	\$21.11
✓ School Maint. Operations/Const	Parish Wide	Parish	Tax	Mils	2.91	\$4.48	\$4.48

Millage	District	Schedule Source	Schedule Type	Rate Type	Tax Rate	Tax Amount Before Exemption	Tax Amount
✓ School Maint. Operations	Parish Wide	Parish	Tax	Mils	30.01	\$46.25	\$46.25
✓ School Security SRO MHP	Parish Wide	Parish	Tax	Mils	1.76	\$2.71	\$2.71

Figure 5. Letter of No Objection (LA-DOTD)

(See following pages)

DATE
6/26/26
DATE

June 12, 2026

Mr. Daniel W. McElmurray, Director
Planning Department, City of Slidell
250 Bouscaren Street, Suite 203
Slidell, Louisiana 70458
dmcelmurray@cityofslidell.org

***Re: Annexation Request – City of Slidell
Paved and Unpaved Segment of U. S. Hwy 190 East
Approximately 2,014 Feet in Length***

Dear Mr. McElmurray:

The Department of Transportation and Development Legal Division is in receipt of the documents requesting permission to annex approximately 2,014 feet of the paved and unpaved portion of the Right-of-Way for Highway 190 East into the City of Slidell. In accordance with LSA-R.S. 33:180, please consider this as the Department's "Letter of No Objection" to the City of Slidell's request.

The proposed annexation includes approximately 2,014 linear feet of the paved and unpaved portions of the full width of the right-of-way of US Highway 190 East, commencing inside the corporate limits of the City of Slidell at the westerly extends of the East I-10 Service Road right-of-way to the centerline of US Highway 190 East, then proceed easterly along the centerline of US Highway 190 East for approximately 2, 014 linear feet to the northeast corner of the property located at 39200 Hwy. 190 East, as more fully shown on the maps, attached hereto and made a part hereof.

The responsibility for traffic law enforcement will transfer from the Louisiana State Police and the St. Tammany Parish Sheriff's Office to the City of Slidell Police Department for the portion of the right-of-way annexation that includes the pavement, but will remain with the Louisiana State Police and the St. Tammany Parish Sheriff's Office for the portion of the right-of-way annexation that excludes the pavement.

Please note that any signing or work performed by the City of Slidell within the limits of the annexed right-of-way (for both the portion that includes the pavement and the portion that excludes the pavement) shall be subject to the prior approval of the Department and shall require all appropriate permits.

Mr. Daniel W. McElmurray, Director
June 12, 2026
Page 2

If we can be of further assistance, please contact Ms. Connie Porter Betts at (225) 379-1297.

Sincerely,

A handwritten signature in blue ink, appearing to read "Glenn Ledet, Jr.", with a stylized flourish at the end.

Glenn Ledet, Jr.
Secretary

cc: Dalton R. Williams, III, P.E., District 62
Charles McBride, Right of Way Administrator
Jamie Boullion, Right of Way Manager
Heather Corsentino, Right of Way Manager
Connie Porter Betts, Deputy Assistant Secretary of Planning
Eric Dauphine, Assistant Secretary
Kimberly Jones, DOTD

Figure 6. Parish Zoning Districts

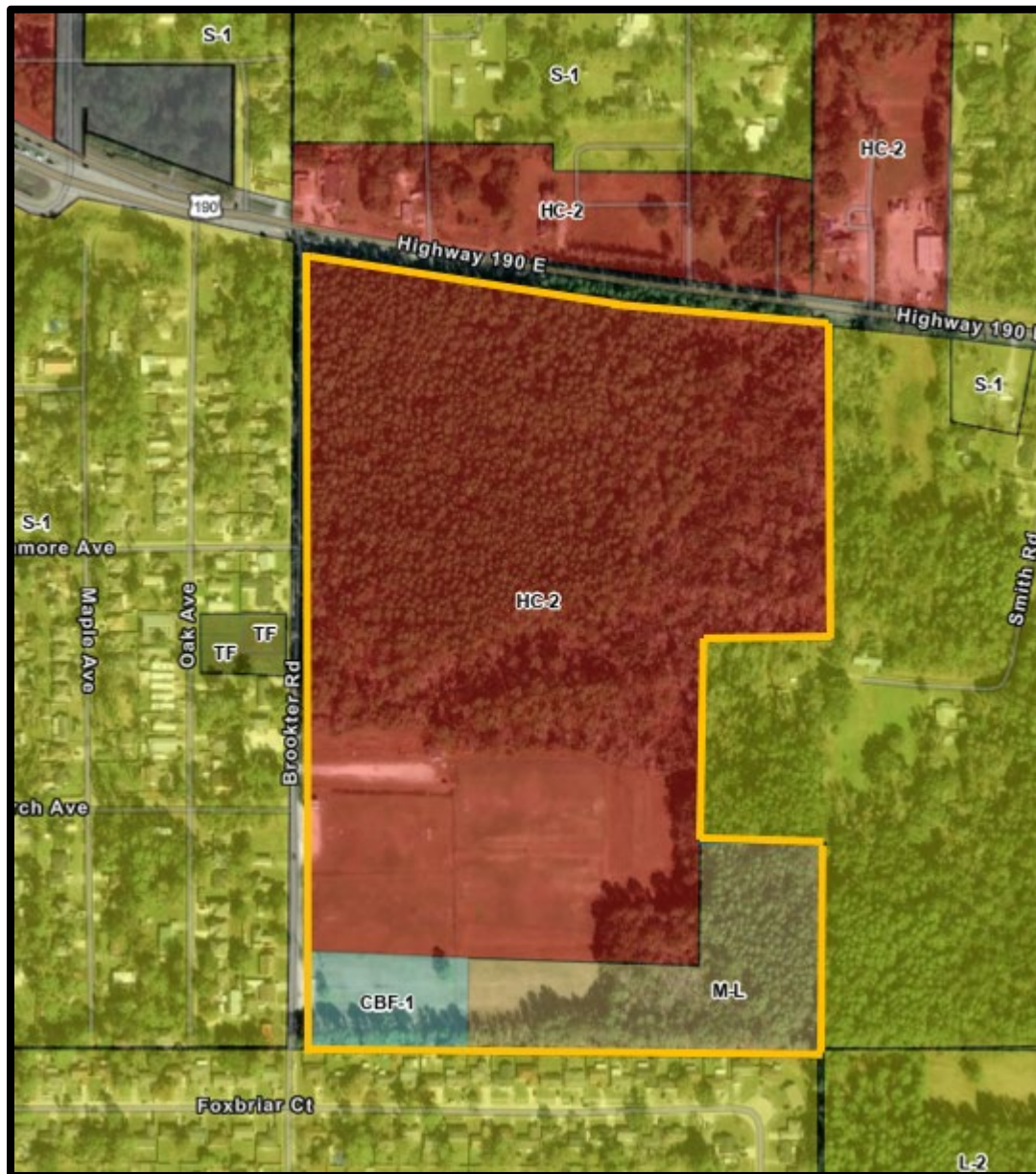


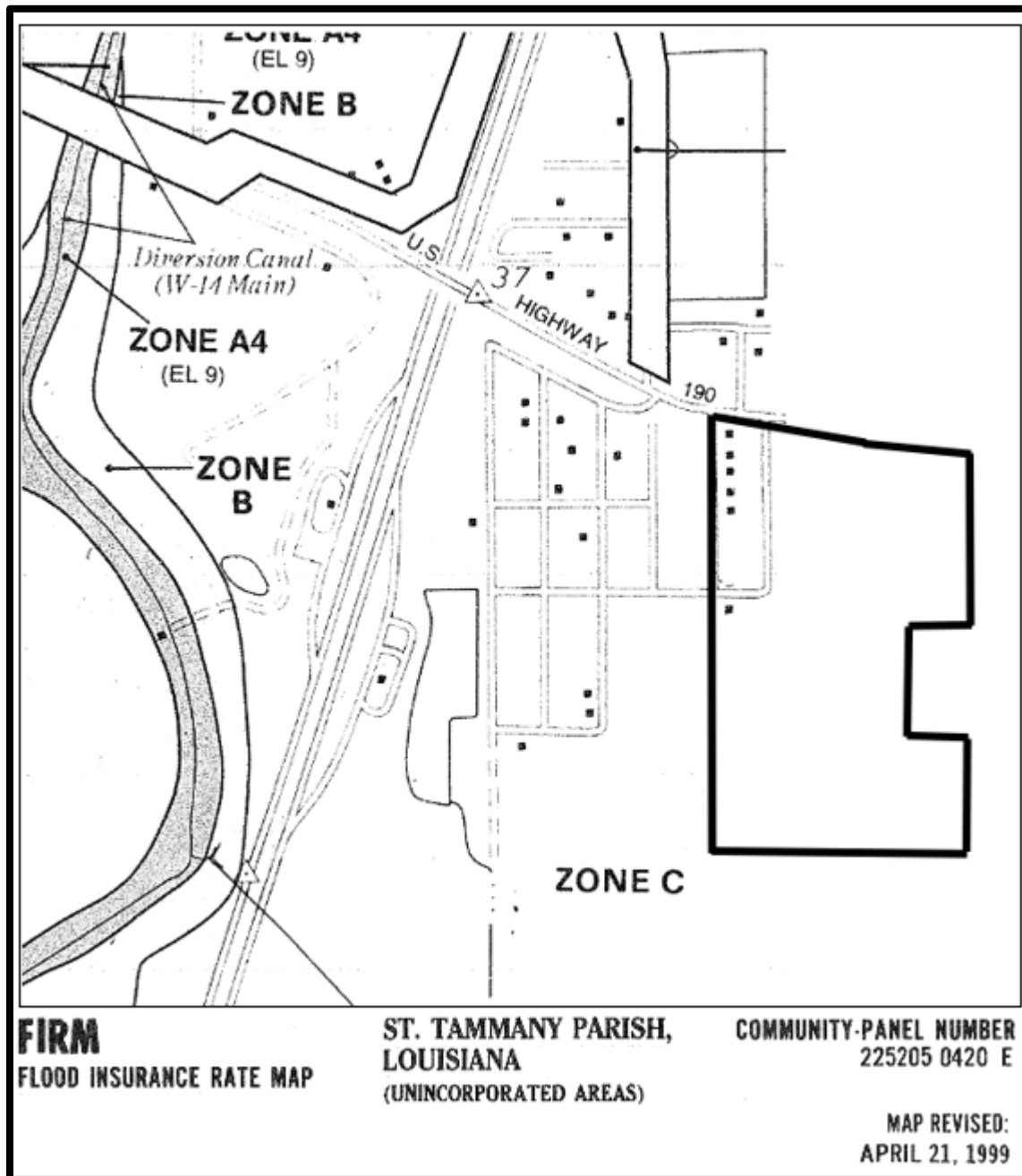
Figure 7. City's Zoning Districts



Figure 8. City Utilities



Figure 9. FEMA Flood Map (Panel 225205 420 E)





Planning Department

Staff Report

Case No. SUBD2026-0030

Resubdivision of multiple lots on
Eleventh Street and Florida Avenue located at
1353 Eleventh Street

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1353 Eleventh Street (**Figure 1**)

Owner: St. Tammany Parish Hospital Service District No. 2, dba Slidell Memorial Hospital (SMH)

Applicant: Sandy Badinger, CEO Slidell Memorial Hospital

Zoning: SPR Parks & Recreation, RSF Residential Single Family; SCI Civic & Institutional pending approval of Z2026-0021

Future Land Use: Residential (**Figure 2**)

Council District: C

Request: Commercial Subdivision of East 80 ft. of Lots 24, 26, & 28 of Square 48, Brugier Addition (842 Florida Avenue); West 70 ft. of Lots 24, 26 & 28; and East 30 ft. of lots 25 & 27 Square 48 Brugier Addition (834 Florida Avenue); and Lot 22A (SMH Fitness Park) into Lot 26A in Section 10, Township 9 South, Range 14 East, City of Slidell, St. Tammany Parish, Louisiana.

Planning Commission: August 17, 2026

STAFF RECOMMENDATION

APPROVAL UPON REZONING CONFIRMATION BY CITY COUNCIL

FINDINGS

1. The petitioned properties are developed with the SMH Fitness Park and two existing former residential structures, proposed to be demolished upon approval (**Figure 3**).
2. Resubdivision of the property requires rezoning per agenda item Z2026-0021 and subsequent City Council approval.
3. The current zoning is SPR-Parks and Recreation and RSF- Residential Single Family (**Figure 4**). SPR and RSF zoning district regulations, per Sections 6.2.2. and 6.6.2. respectively do not allow stand-alone parking lots to be constructed.
4. Proposed zoning is SCI Civic & Institutional, which does allow for stand-alone parking lots (**Figure 5**).
5. Resubdivision and rezoning to SCI Civic & Institutional will provide the ability for SMH to construct a parking lot of approximately 158 spaces to provide patient parking for the emergency room at Slidell Memorial Hospital, as shown in the applicant's conceptual site plan (**Figure 6**).
6. Redevelopment of this site is subject to all proposed SCI zoning district regulations, including the Section 9.3.F. buffer landscape area requirements on the north and west boundaries of the proposed single lot.

7. Applicant proposes to relocate the fitness park to an expanded site between 14th and Broadmoor Streets on property owned by the applicant.
8. There are two points of ingress/egress proposed for the stand-alone parking lot, both access points being on Eleventh Street. Existing structures are located north of the property blocking access from Gause Blvd (**Figure 6**).
9. Existing City utilities along Eleventh Street - 2" and 12" water lines, 8" sewer line - are available for this property in the adjacent right-of-way.
10. The property is in an AE flood zone per FIRM 221030495F (**Figure 7**).
11. Approval for termination of the use of 1353 Eleventh Street as a community fitness park is on the August 11 agenda for City Council consideration; this request can only move forward if Council has amended Ordinance 3594 to allow for the early termination of the park use at this site (**Figure 8**).

FIGURES

Figure 1. Site Location



Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

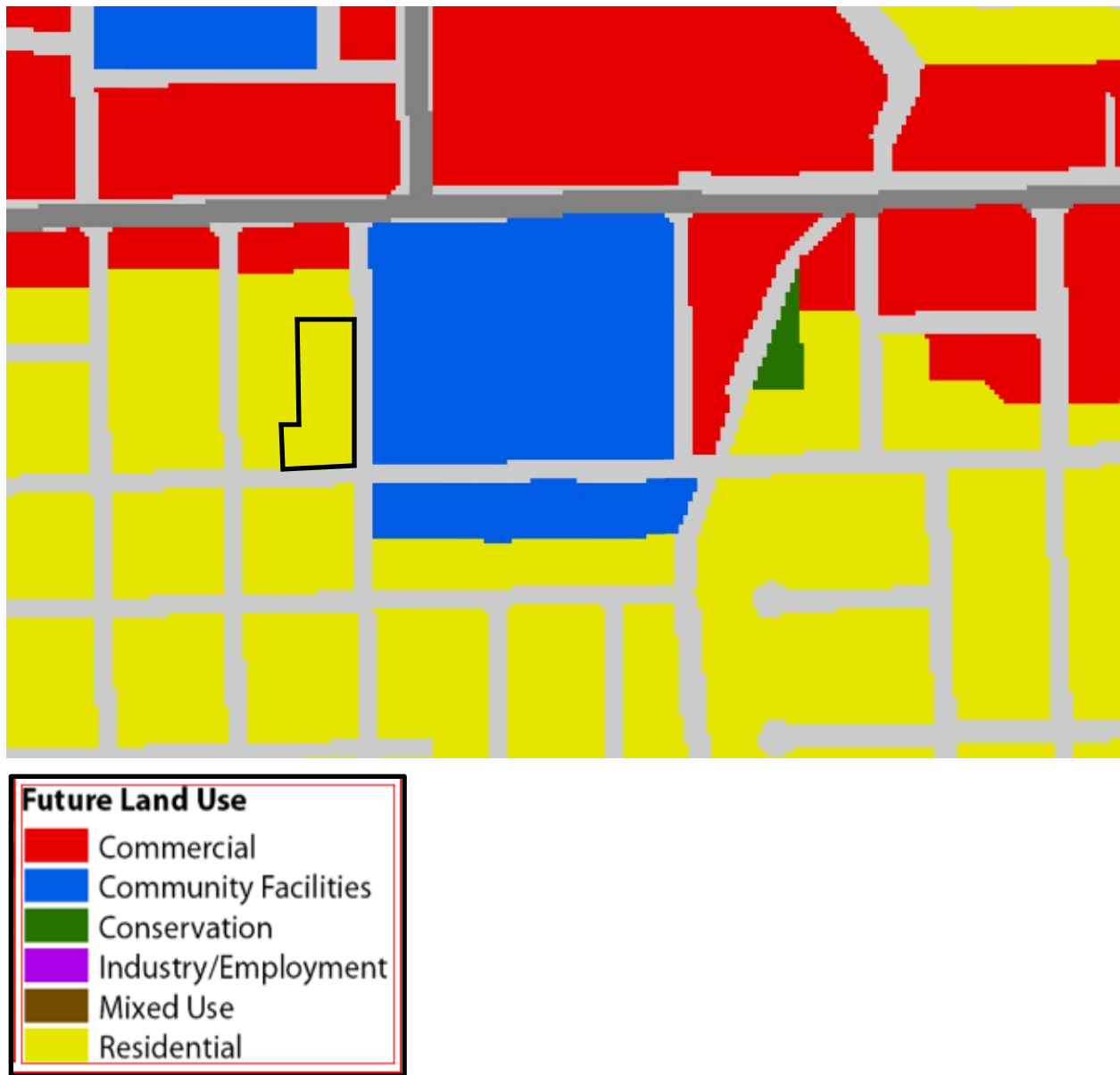


Figure 3. Street Views

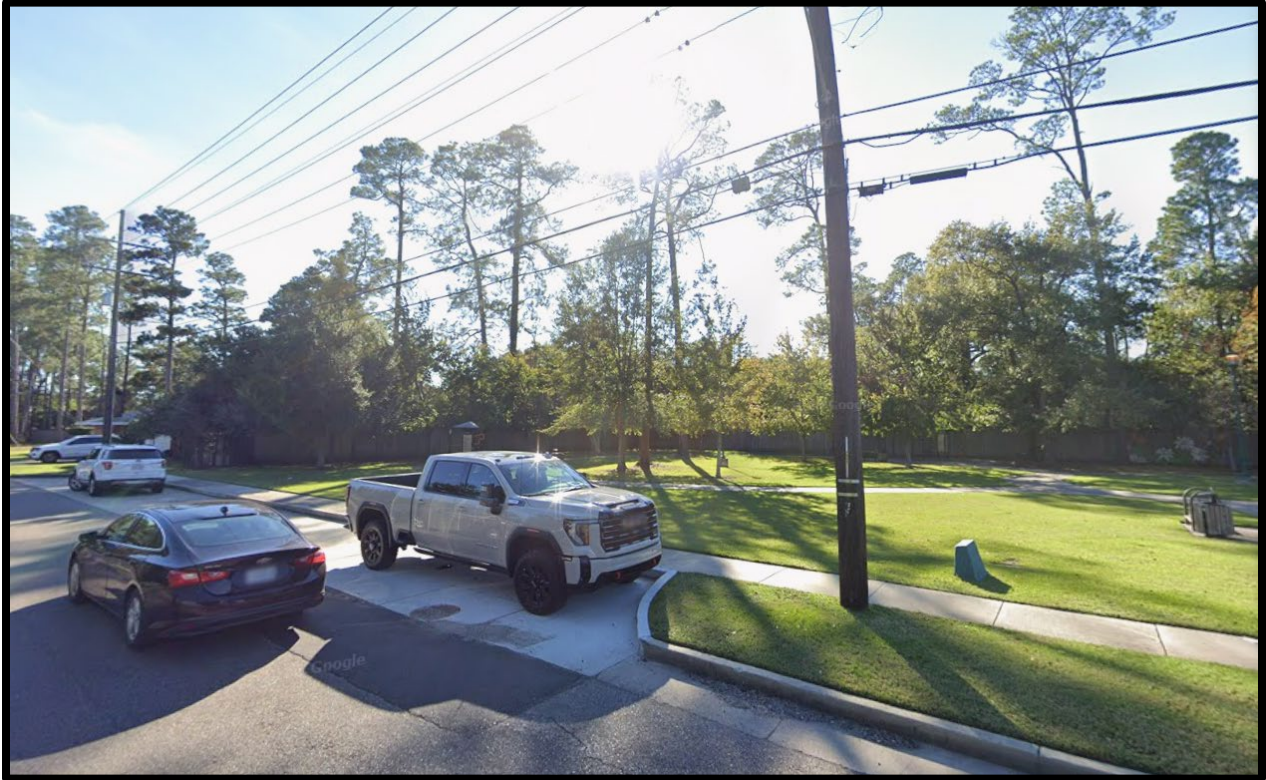


Figure 4. Current City Zoning: SPR Parks & Recreation, RSF Residential Single Family

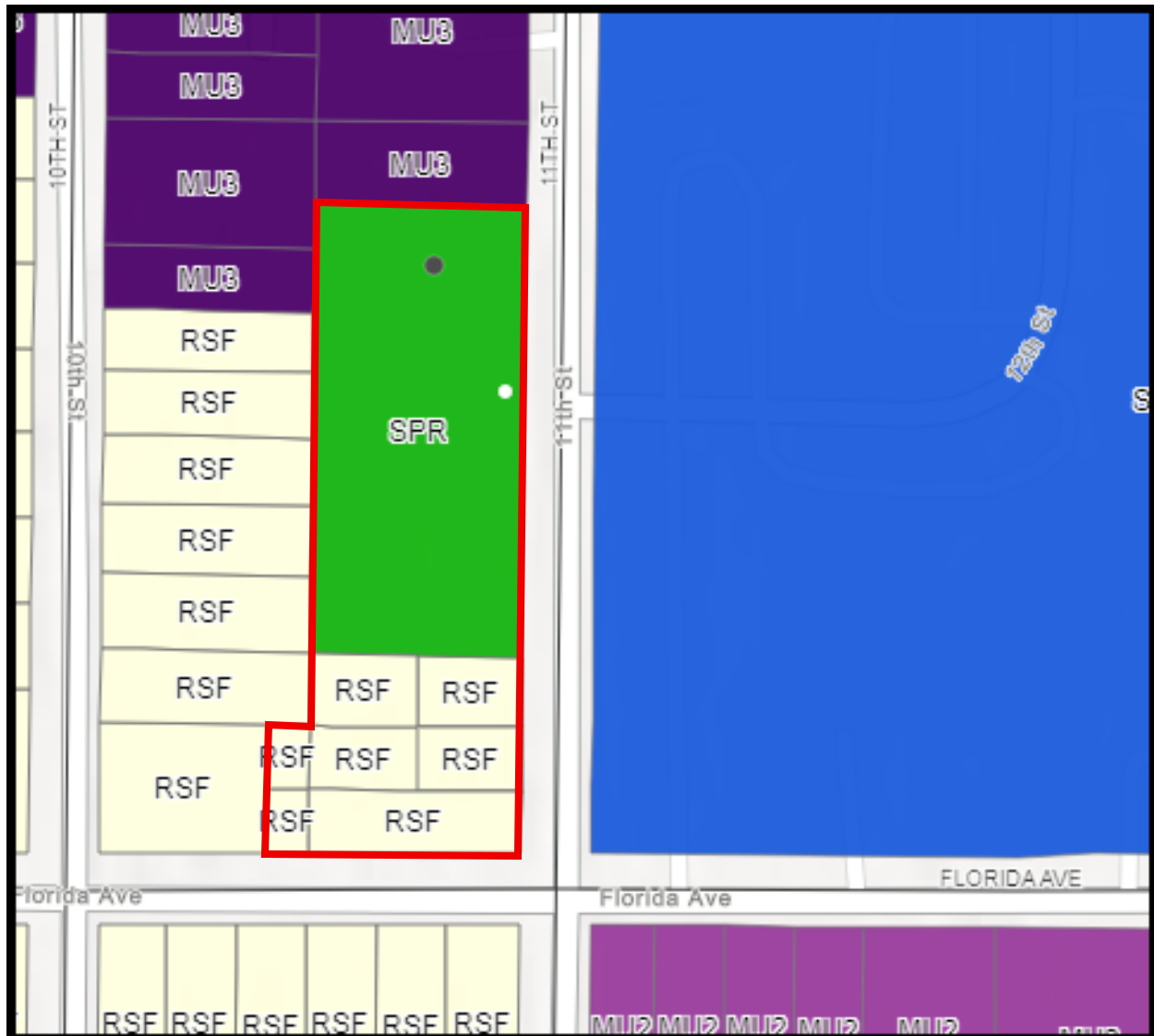


Figure 5. Preliminary Resubdivision (following page)

GENERAL NOTES

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES OR STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES.

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.
F.I.R.M. COMMUNITY MAP NO. 220204 0010 C; DATED: 04/21/1999
FLOOD ZONE: AE; BASE FLOOD ELEVATION: 12' & 13'.

REFERENCES:

- 1.) A SURVEY BY THIS FIRM DATED 11/16/21 DRAWING NO. 20210673.
- 2.) SURVEY BY: BURKES & ASSOCIATES, INC., DRAWING # 20110408; DATED: 8/3/2011
- 3.) SURVEY BY: J.V. BURKES & ASSOCIATES, INC., DRAWING # 20072975; DATED: 2/28/2008
- 4.) SURVEY BY: ALBERT A. LOVELL, JOB # 102231RS; DATED: 4/29/1996, RECORDED: 6/3/1996; MAP FILE # 1436.
- 5.) SURVEY BY: J.V. BURKES & ASSOCIATES, INC., SURVEY # 1062468; DATED: 06/30/2006, RECORDED.

NOTE: PROPOSED ZONING IS SCI
BUILDING SETBACK LINES
FRONT - 20'
SIDE - 5'
REAR - 5'

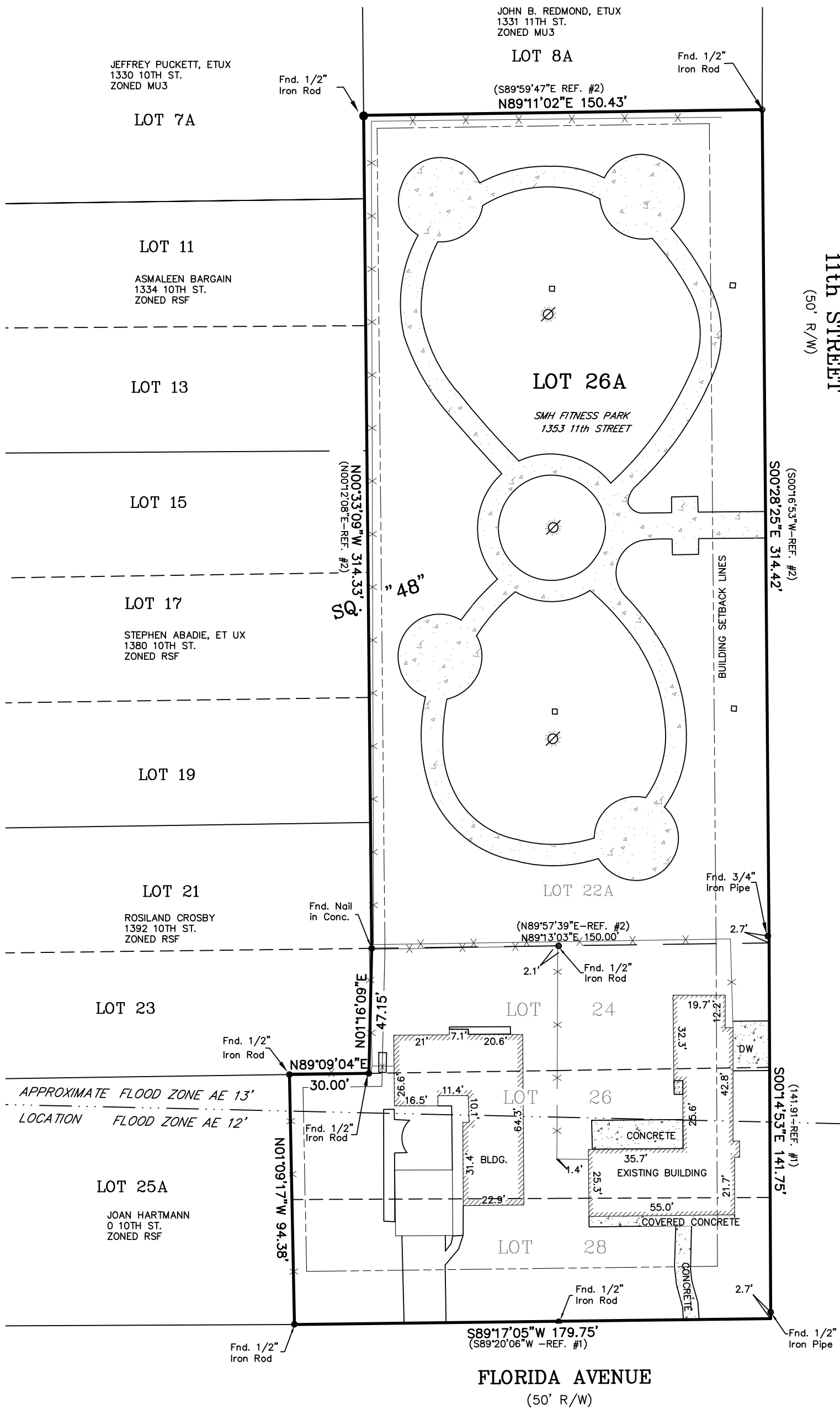
APPROVED:

CHAIRMAN OF PLANNING COMMISSION	DATE
MAYOR	DATE
PRESIDENT OF CITY COUNCIL	DATE
CLERK OF COURT	DATE
MAP FILE NO.	DATE FILED
OWNER/AGENT	DATE

TOTAL AREA: 71,395 SQ. FT. OR 1.639 ACRES

LEGEND

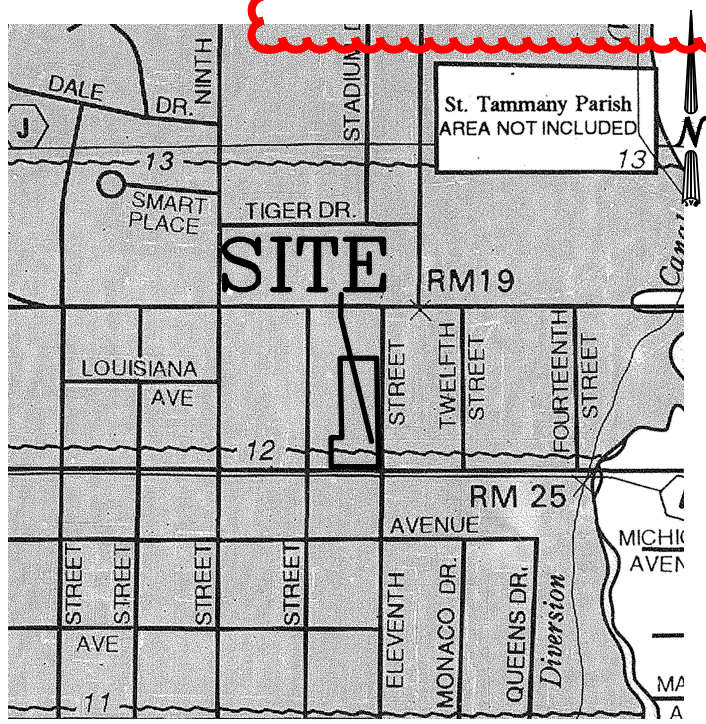
- | | |
|--|--|
| | SEWER MANHOLE , SEWER LINE |
| | WATER MANHOLE , WATER LINE |
| | GAS MANHOLE , GAS LINE |
| | TELE. MANHOLE , TELE. LINE |
| | DRAIN MANHOLE , DRAIN LINE |
| | DRAIN INLET , DRAIN LINE |
| | POWER POLE / OVERHEAD LINES
ELECTRIC, TELEPHONE, CABLE TV |
| | ELEC. TOWER / OVERHEAD LINES |
| | CATCH BASIN |
| | LIGHT STANDARD |
| | TRAFFIC LIGHT |
| | TELE. , ELEC. , CATV PEDESTAL |
| | GAS , WATER , ELECTRIC METER |
| | GAS , WATER VALVE |
| | SEWER , DRAIN CLEANOUT |
| | FIRE HYDRANT |
| | GUY WIRE ANCHOR |
| | SIGN |
| | PYLON |
| | MAILBOX |
| | TREE |
| | SHRUB |
| | FENCE |



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



VICINITY MAP
NOT TO SCALE

Legal Description:

A certain parcel of land, lying and situated in Section 10, Township 9 South, Range 14 East, Greensburg Land District, City of Slidell, Saint Tammany Parish, Louisiana and being more fully described as follows.

Commence from the intersection of the northerly right of way line of Florida Avenue and the westerly right of way line of 11th Street, said point being the southeasterly corner of Square 48, Brugier Addition in Section 10, Township 9 South, Range 14 East, Greensburg Land District, City of Slidell, Saint Tammany Parish, Louisiana run along said northerly right of way line of Florida Avenue South 89 Degrees 20 Minutes 06 Seconds West a distance of 179.75 feet to a 1/2" iron rod found; Thence leaving said northerly right of way line of Florida Avenue run North 01 Degrees 09 Minutes 17 Seconds West a distance of 94.38 feet to a 1/2" iron rod found; Thence run North 89 Degrees 09 Minutes 04 Seconds East a distance of 30.00 feet to a 1/2" iron rod found; Thence run North 01 Degrees 16 Minutes 09 Seconds East a distance of 47.15 feet to a nail found in concrete; Thence run North 00 Degrees 33 Minutes 09 Seconds West a distance of 314.33 feet to a 1/2" iron rod found; Thence run North 89 Degrees 05 Minutes 53 Seconds East a distance of 150.43 feet to a 1/2" iron rod found on the westerly right of way line of 11th Street; Thence run along said westerly right of way line of 11th Street South 00 Degrees 28 Minutes 25 Seconds East a distance of 314.42 feet to a point; Thence run South 00 Degrees 14 Minutes 53 Seconds East a distance of 141.19 feet and back to the Point of Commencement.

Said Lot 26A contains 1.084 acres of land more or less, lying and situated in Section 10, Township 9 South, Range 14 East, Greensburg Land District, City of Slidell, Saint Tammany Parish, Louisiana.

CERTIFICATION

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN. ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA "STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

J.V. Burkess & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

A RESUBDIVISION PLAT OF
LOTS 24, 26 & 28 & 22A, SQ. 48, INTO LOT 26A
BRUGIER ADDITION IN SECTION 10, T-9-S, R-14-E,
CITY OF SLIDELL, GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

SLIDELL MEMORIAL HOSPITAL

SCALE:

1" = 40'

DATE:

11/16/2021

DRAWN BY:

VLL

CHECKED BY:

JDL

DWG. NO.

20260149

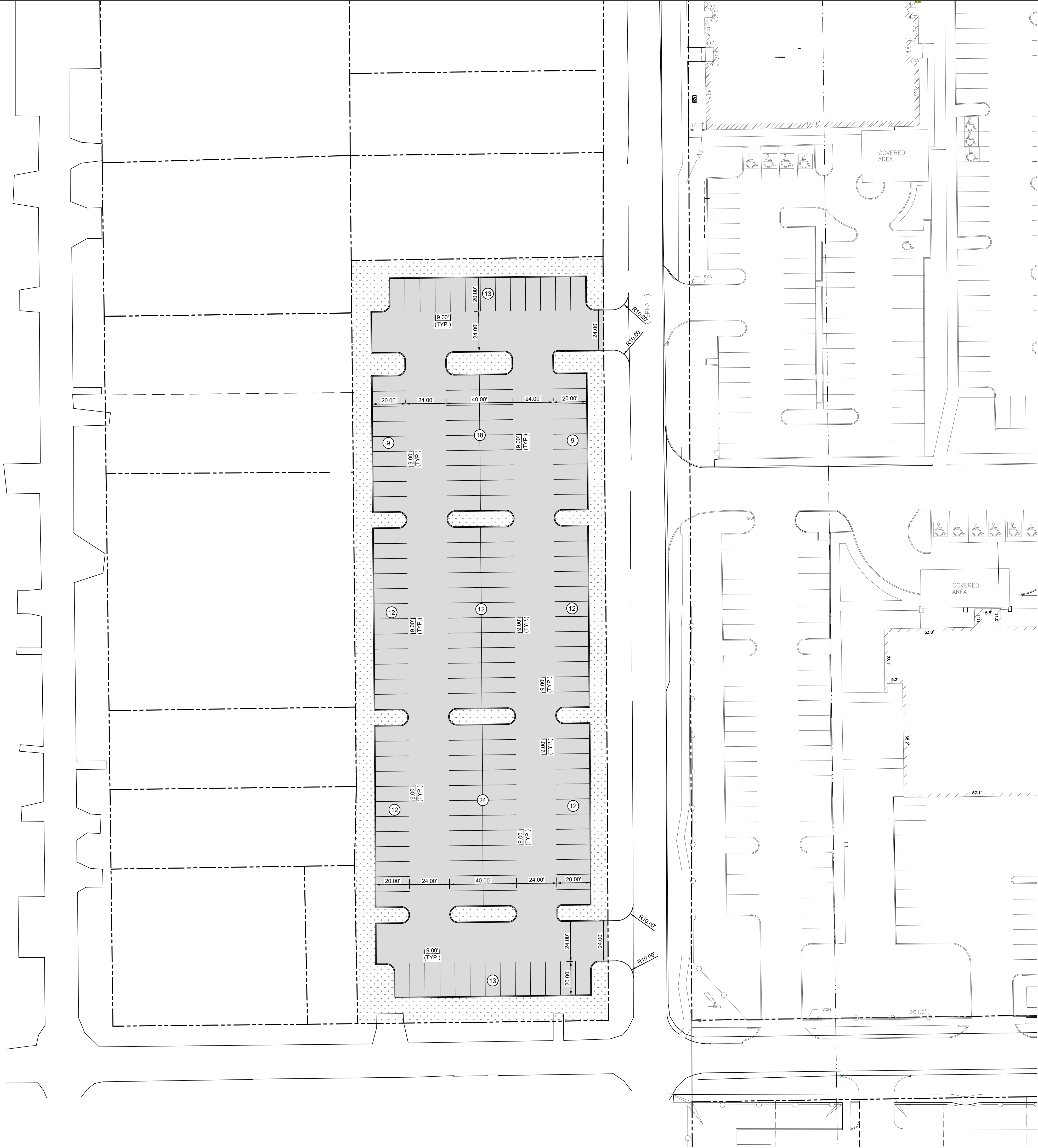
SHEET

1 OF 1

JERALD D. LONG
LA. REG. No. 5374

Figure 6. Conceptual Site Plan (following page)

Z:\2025\25-1713\CIVIL\CAD\CONCEPTUAL\FITNESS PARK\25-1713 P-1.DWG



LEGEND - EXISTING

- SEWER MANHOLE , SEWER LINE
- WATER MANHOLE , WATER LINE
- GAS MANHOLE , GAS LINE
- TELE. MANHOLE , TELE. LINE
- DRAIN MANHOLE , DRAIN LINE
- DRAIN INLET , DRAIN LINE
- POWER POLE / OVERHEAD LINES
- ELECTRIC, TELEPHONE, CABLE TV
- ELEC. TOWER / OVERHEAD LINES
- CATCH BASIN
- LIGHT STANDARD
- TRAFFIC LIGHT
- TELE. , ELEC. , CATV PEDESTAL
- GAS , WATER , ELECTRIC METER
- GAS , WATER VALVE
- SEWER , DRAIN CLEANOUT
- FIRE HYDRANT
- GUY WIRE ANCHOR
- SIGN
- PYLON
- MAILBOX
- TREE
- SHRUB
- TREE TRUNK BY DBH
- FENCE

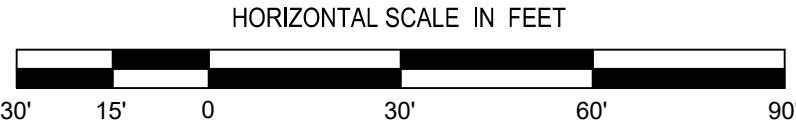
LEGEND - NEW IMPROVEMENTS

- CONCRETE SIDEWALK
- GREENSPACE
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY PAVEMENT
- CURB & GUTTER
- PARKING SPACES
- SITE LIGHTING POLES
- ADA RAMPS
- DIRECTIONAL ARROWS

SITE ANALYSIS

PROPERTY AREA	1.58 ACRES
PROVIDED PARKING	158 SPACES

CONCEPTUAL
SITE PLAN



SUBD2026-0030 - Figure 6

FORMER FITNESS SITE PARKING

1353 11TH ST
SLIDELL, LOUISIANA 70458
SLIDELL MEMORIAL HOSPITAL



PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO. 25-1713
ISSUE FOR REVIEW
02/27/2026

CHECKED
DRAWN BY SMT
AJR

SHEET

P-1

Figure 7. FEMA Flood Map (Panel) 221030495F

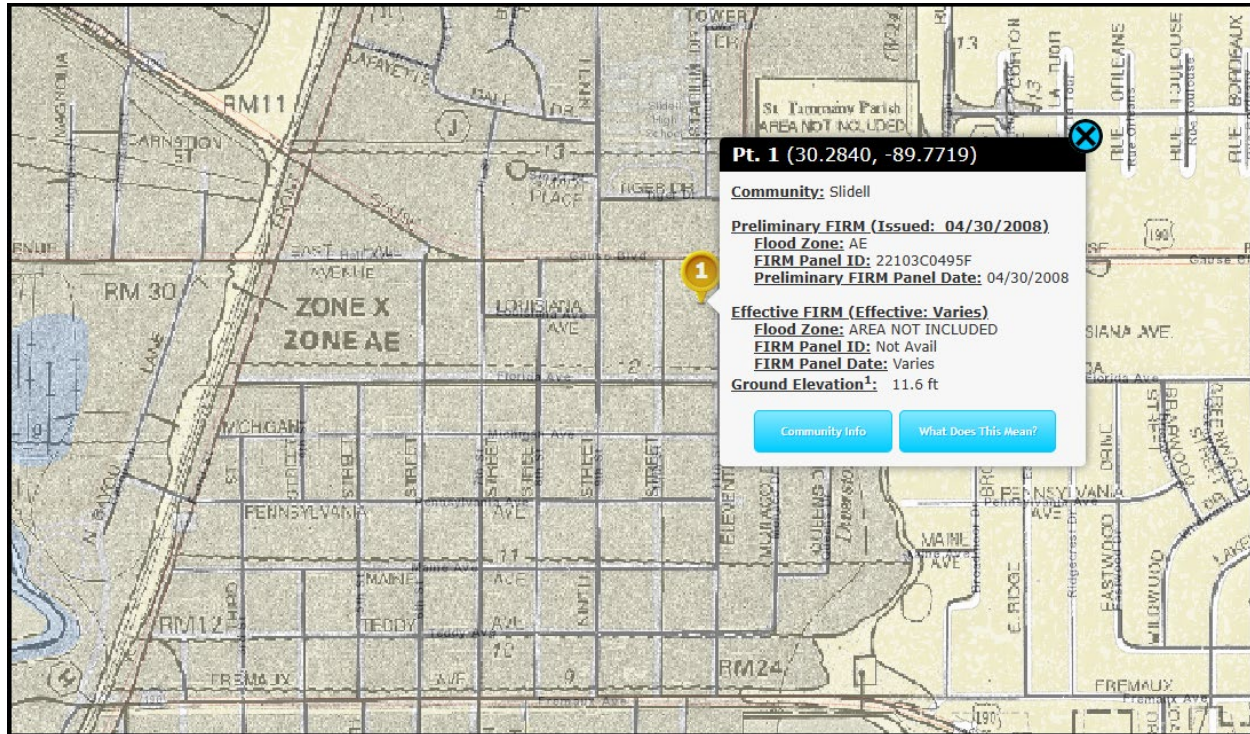


Figure 8. Ordinance 3594 (following pages)

Introduced July 27, 2010, by Councilman Hicks,
seconded by Councilman Lloyd, (by request of
Administration)

Item No. 10-07-2864

ORDINANCE NO. 3594

An ordinance conditionally revoking the right of way of 12th Street from Gause Boulevard to Florida Avenue at the request of Slidell Memorial Hospital.

WHEREAS, St. Tammany Parish Hospital Service District No. 2 d/b/a Slidell Memorial Hospital (SMH) has requested a revocation of the 12th Street right of way from Gause Boulevard to Florida Avenue in order to accommodate improvement of emergency services; and

WHEREAS, the City desires to work with SMH to facilitate improvement of emergency services to Slidell citizens and residents of the surrounding area; and

WHEREAS, the City further desires to accommodate the interests of the residents of Brugier subdivision insofar as expansion of SMH and buffering it activities from Brugier is concerned; and

WHEREAS, in a letter dated July 19, 2010, SMH committed to demolish certain residential structures on 11th Street and to construct and maintain a "Fitness Park" on those residential properties; and

WHEREAS, SMH also committed to construct and maintain an 8 foot privacy fence along the said residential properties; and

WHEREAS, the Slidell Planning Commission has favorably recommended that the revocation be granted.

NOW THEREFORE BE IT ORDAINED by the Slidell City Council that:

1 **ORDINANCE NO. 3594**
2 **ITEM NO. 10-07-2864**
3 **PAGE 2**

4 (1) The right of way of 12th Street between Gause Boulevard and Florida Avenue is
5 hereby revoked conditioned upon the following:
6

7 (a) SMH shall to commence demolition of all structures located on 1335 11th
8 Street, 1353 11th Street, 1357 11th Street and 1365 11th Street (hereinafter
9 referred to as "11th Street Properties") within one hundred twenty (120)
10 days of the effective date of this ordinance;
11
12

13 (b) SMH shall construct an 8 foot cedar privacy fence along the western
14 property lines of the 11th Street Properties to the northerly property line of
15 834 Florida Avenue. SMH shall further construct a fence along the northerly
16 property line of 1335 11th Street which shall be the same as the fence SMH
17 constructed to enclose its parking lot at 920 Florida Avenue. Both fences
18 shall be constructed within ninety (90) days of the effective date of this
19 ordinance. SMH shall maintain the fences in good condition in perpetuity.
20 The obligation to maintain the fences shall be a covenant that shall run with
21 the land. SMH shall execute all documents necessary to effectuate this
22 covenant;
23
24

25 (c) SMH shall construct a Fitness Park on the 11th Street Properties for the use
26 and benefit of the public as well as SMH employees and patients. The
27 Fitness Park shall include a walking path and exercise stations. The
28 Fitness Park shall be constructed within two hundred seventy (270) days of
29
30
31
32
33
34
35
36
37
38
39

1 **ORDINANCE NO. 3594**
2 **ITEM NO. 10-07-2864**
3 **PAGE 3**

4 the effective date of this ordinance. SMH shall maintain the Fitness Park in
5 good condition for a period of at least twenty five (25) years;

7 (d) SMH shall submit detailed plans for the fences and Fitness Park to the City
8 for review and approval. The fences and Fitness Park shall be constructed
9 in compliance with all applicable regulations;

12 (e) SMH shall be responsible for any relocation of utilities which are contained
13 within the 12th Street right of way including, but not limited to, water and
14 sewer lines and shall grant any servitudes necessary as a result of the
15 relocation;

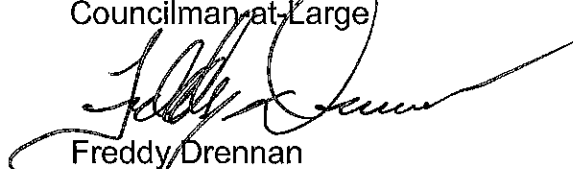
18 (f) Subsequent to the completion of construction of the emergency department
19 improvements, SMH shall conduct a traffic study to determine the effects of
20 such construction. SMH shall use its best efforts to address any adverse
21 finding shown by the study.

24 (2) This ordinance shall become effective upon adoption.

27 **ADOPTED** this 11th day of January, 2010.

28 

30 Landon Cusimano
31 President of the Council
32 Councilman at Large

33 

34 Freddy Drennan
35 Mayor

36 

37 Thomas P. Reeves
38 Council Administrator

DELIVERED	1-13-11
3:00 p.m.	to the Mayor
RECEIVED	1-19-11
10:15 a.m.	from the Mayor



Slidell Memorial Hospital

Your Hospital for Life.

July 19, 2010

Mayor Freddy Drennan
City Councilman Sam Abney
City Councilman Bill Borchert
City Councilman Sam Caruso, Sr.
Councilman at Large Landon Cusimano
City Councilman Joe Fraught
City Councilwoman at Large Kim Harbison
City Councilman Lionel Hicks
City Councilman Buddy Lloyd
City Councilman Jay Newcomb
City of Slidell
2055 Second Street
Slidell, Louisiana 70458

Re: Slidell Memorial Hospital

Dear Mayor and Council Members:

The purpose of this letter is to share with you our vision for the future development of the Slidell Memorial Hospital (SMH) campus, our ideas for improving the Brugier Addition Subdivision and to seek your support for these endeavors. As you know, SMH has consistently served the Slidell community for over 50 years and we look forward to many additional years of service to the community.

In order to accommodate the improvement of emergency services and to ultimately create all private beds for SMH, we are proposing to relocate our emergency department to a new two story building. The first story will contain an expanded emergency department (increasing beds from 14 to 22) and the second story will accommodate 36 new private patient rooms designated primarily for cardiac patients.

In order to accomplish this, it is necessary for us to utilize portions of Twelfth Street and as such we are requesting revocation of Twelfth Street between Gause Boulevard and Florida Avenue. In addition to enable the construction of the aforementioned building, SMH will assume the maintenance costs associated with the requested property and the Brugier Addition Subdivision will see significantly reduced traffic through its neighborhood as traffic from the medical office building multi-story parking garage will now be routed out to Gause as opposed to Florida Street as is the current situation.

SMH owns the following residential lots fronting Eleventh Street (see attached):

1335 Eleventh Street
1353 Eleventh Street
1357 Eleventh Street
1365 Eleventh Street

1001 Gause Boulevard
Slidell, Louisiana 70458-2987
(985) 643-2200
www.slidellmemorial.org

In order to improve the ambiance of the neighborhood, SMH proposes to demolish the improvements existing on the above lots and to construct on these residential lots a "SMH Fitness Park" for the benefit of local residents as well as SMH employees, patients and the community at large. The final design and equipment of the SMH Fitness Park will be subject to agreement by both SMH and the City of Slidell. The SMH Fitness Park will include a walking path and exercise stations.

In addition, SMH will construct and maintain, at its expense, an eight foot wooden fence along the western property line of the above lots. The fence will extend along the western property line of the residence located at 834 Florida Avenue, as indicated on the attached sketch.

As indicated on the attached sketch, SMH is also the owner of six residential lots fronting on Florida Avenue and located at the corner of Florida Avenue and Eleventh Street. SMH desires to construct a vehicular parking lot on these six lots with access and egress on Florida Avenue only. SMH respectfully requests the best efforts of the Slidell City Council in support of rezoning of these lots to an C-2 zoning classification as required for construction of the vehicular parking lot.

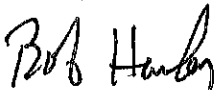
And finally, SMH respectfully requests the best efforts of the Slidell City Council in support of rezoning to an C-2 classification any property situated east of the W-14 canal that SMH may acquire.

SMH proposes to commit to retaining the SMH Fitness Park and wooden fence in these locations for a period of not less than five years from the date of completion of construction of the SMH Fitness Park and wooden fence upon approval of the revocation of Twelfth Street. In addition, we propose to add an additional five year commitment for the rezoning approval to C-2 of the six residential lots and an additional five year commitment for the rezoning to C-2 of any lot SMH may acquire east of the W-14 canal. In all situations, maintenance and insurance of property owned by SMH will remain a SMH responsibility.

The above proposal is subject to approval by the St. Tammany Parish Hospital Service District No. 2 Hospital Board. This proposal will be presented to the Board at its July 22, 2010 meeting. We will promptly advise you of their action in this matter.

If you have any questions, please do not hesitate to contact either myself or Bruce Clement. On behalf of Slidell Memorial Hospital, please accept our thanks for your interest and support of this important project.

Sincerely,

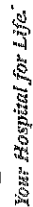


Robert L. Hawley, Jr. FACHE
Chief Executive Officer

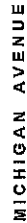
cc: Mr. Bruce W. Clement, Chief Ancillary Support Officer
Mr. Tim Matheson, Chief Administrative Officer, City of Slidell

Enclosure: SMH Contiguous Properties

1001 Gause Boulevard
Slidell, Louisiana 70458-2987
(985) 643-2200
www.slidellmemorial.org



GAUSE BOULEVARD





Your Hospital for Life.

May 21, 2010

Mr. Randy Clement
Director of Planning
City of Slidell
P.O. Box 828
Slidell, Louisiana 70459

Subject: Request for Revocation of 12th Street
Request for Bi-Directional Traffic of 14th Street

Dear Mr. Clement:

In order to meet the needs of our community, it is necessary for us to implement the next phase of our Master Facility Plan which includes refinement of emergency department services and conversion from semi-private to private patient rooms.

We have performed extensive analysis in working with our architectural firm, land surveyor and traffic engineers to arrive at our plan. In addition to the revocation of 12th Street, we request your concurrence in creating a bi-directional circulation of traffic on 14th Street.

We have taken the opportunity to meet with the Brugier Addition Homeowner's Association, several City officials and the Board of the Slidell Chamber of Commerce. The responses we have received have been favorable and we ask for your support in this endeavor.

Please consider this our formal request for the revocation of 12th Street from the City of Slidell to the St. Tammany Hospital Service District No. 2 dba Slidell Memorial Hospital and converting 14th Street to a bi-directional roadway.

Sincerely,

A handwritten signature in black ink, appearing to read "Bob Hawley".

Robert L. Hawley, Jr., FACHE
Chief Executive Officer

Attachments: Existing traffic circulation diagram
Proposed traffic circulation diagram
Land survey
Resolution of Support, Chamber of Commerce
Traffic Impact Study
Utility Company Letters

1001 Gause Boulevard
Slidell, Louisiana 70458-2987
(985) 643-2200
www.slidellmemorial.org



Planning Department

STAFF REPORT

Case No. SUBD2026-31

Resubdivision of Tract 3-A, Tract 3-B-2, and Tract 3-B-3 into Tract 3-A-1 being a north parcel on Town Center Parkway at the intersection of Old Spanish Trail located in Section 14, T9 South, Range 14 E, City of Slidell St Tammany Parish, Louisiana, and addressed as
2055 Town Center Parkway

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: Tract 3-A being a north parcel on Town Center Parkway at the intersection of Old Spanish Trail (2055 Town Center Parkway). Council District A (**Figure 1**) (Aerial View)

Owner: RDG Construction & Development, LLC

Applicant: Mark Salvetti/Property Manager

Zoning: IT1 – Height Overlay

Future Land Use: Industry/Employment (**Figure 2**)

Request: Resubdivision of Tract 3-A, Tract 3-B-2, and Tract 3-B-3 into Tract 3-A-1 being 6.157 acres described as a north parcel on Town Center Parkway at the intersection of Old Spanish Trail (2055 Town Center Parkway) located in Section 14, Township 9 South, Range 14 East, City of Slidell, St. Tammany Parish, Louisiana.

Planning Commission: August 17, 2026

STAFF RECOMMENDATION

APPROVAL UPON COMPLETION AND RECORDATION OF SUBD2026-0028

FINDINGS

1. The petitioned property is an industrially developed parcel with an existing 32,000 square foot facility located on site (**Figure 3**).
2. The current zoning is IT1 Light Innovation & Technology and the property is within the HOD Height Overlay District (**Figure 4**).
3. A utility easement runs along the West side of Town Center Blvd abutting the property.
4. The site is utilized for industrial manufacturing and is part of a larger parcel being resubdivided into 6.157 acres (**Figure 5**).
5. Two accessways are available to the property from Town Center Parkway. One access located adjacent to the building is located on the south side of the building and is designed for general parking and another access point is located north of the building and utilized as a loading zone. (**Figure 3**)
6. The property is in an AE flood zone, Elevation 13 feet, FIRM 22103C049SF (**Figure 6**).
7. The Planning Department recommends approval with reference to UDC Sections 6.5.4 and Section 6.7.2.

Figure 1. Aerial View

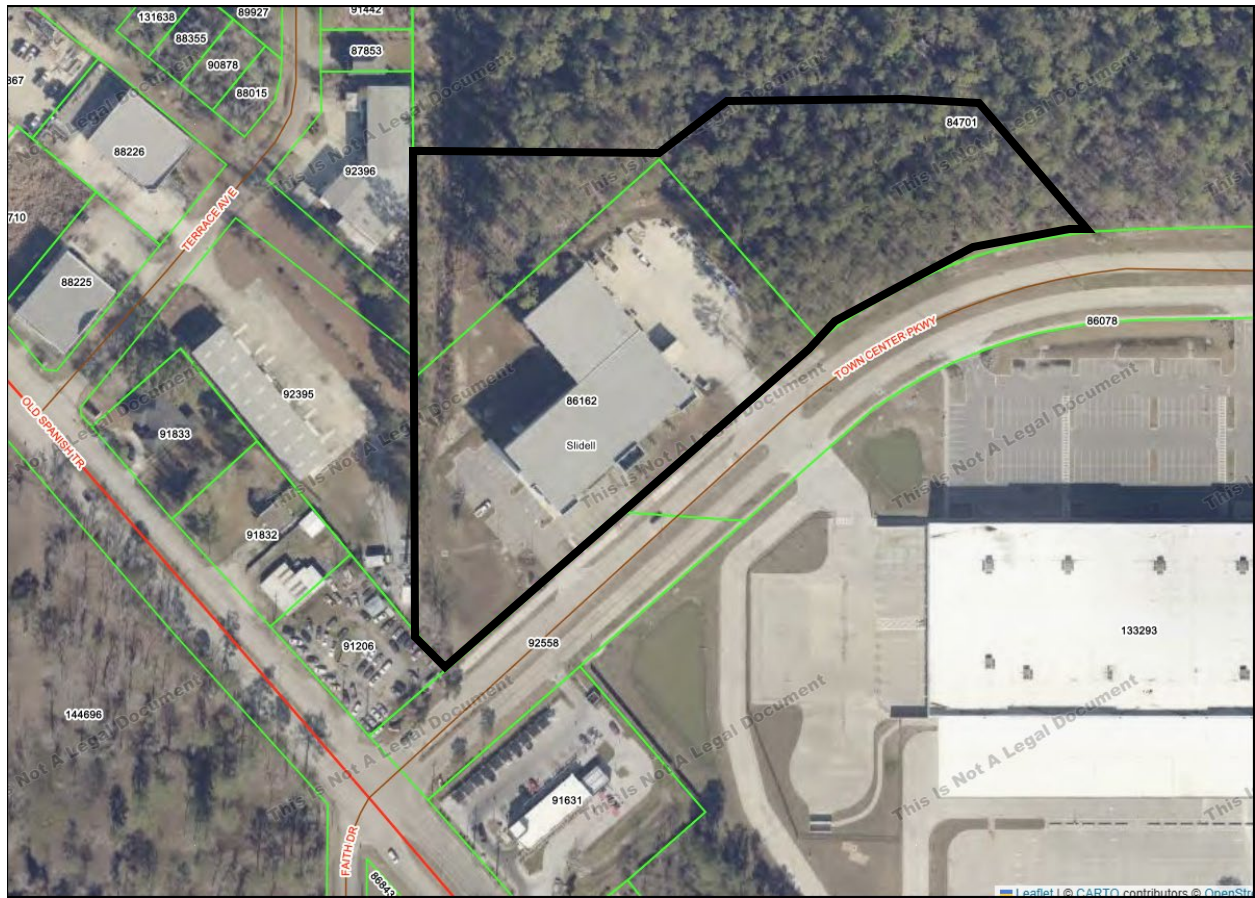


Figure 2. Future Land Use Map (Slidell 2040 Comprehensive Plan)

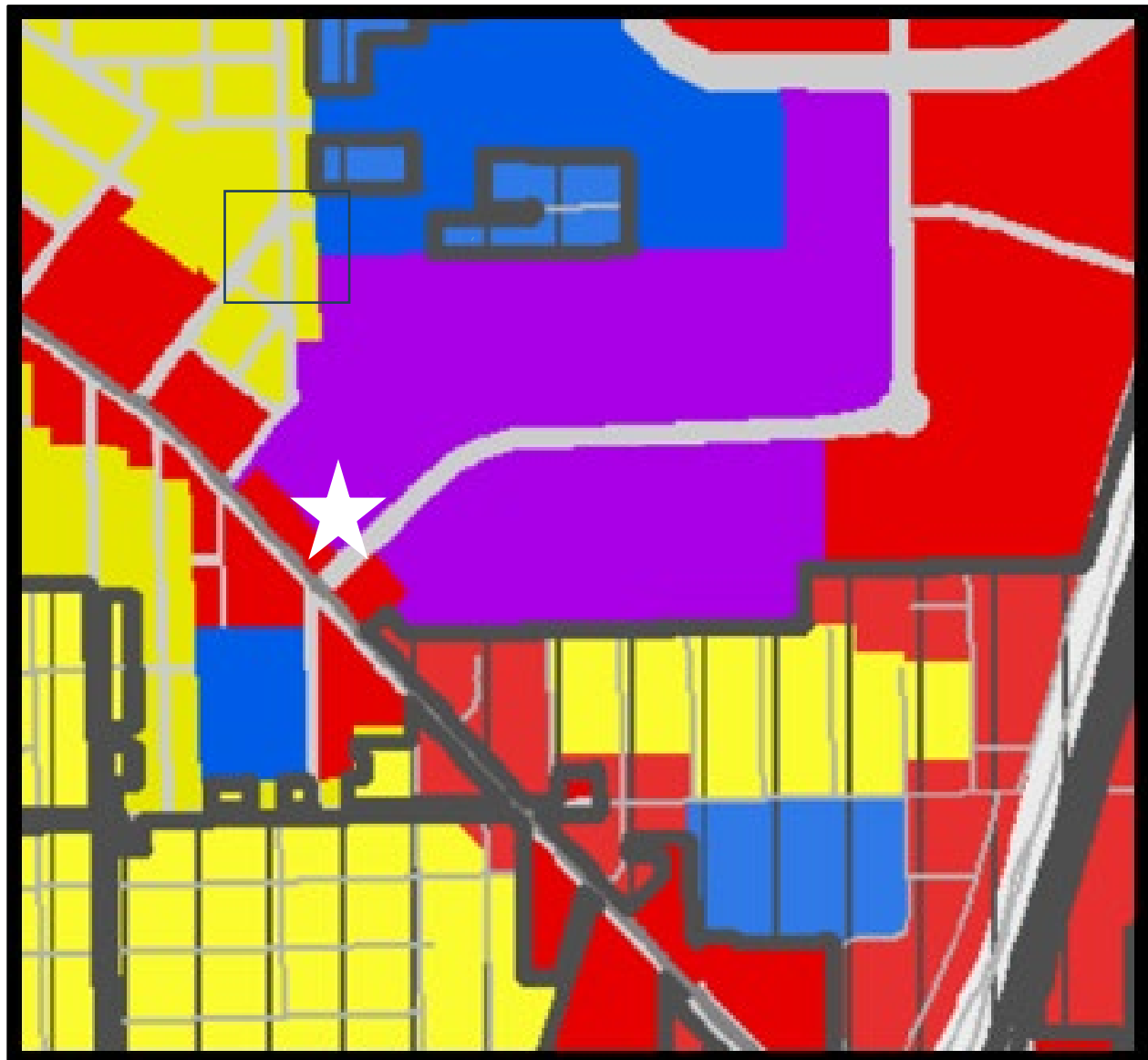


Figure 3. Street View



Figure 4. Current City Zoning: IT1 Light Innovation & Technology

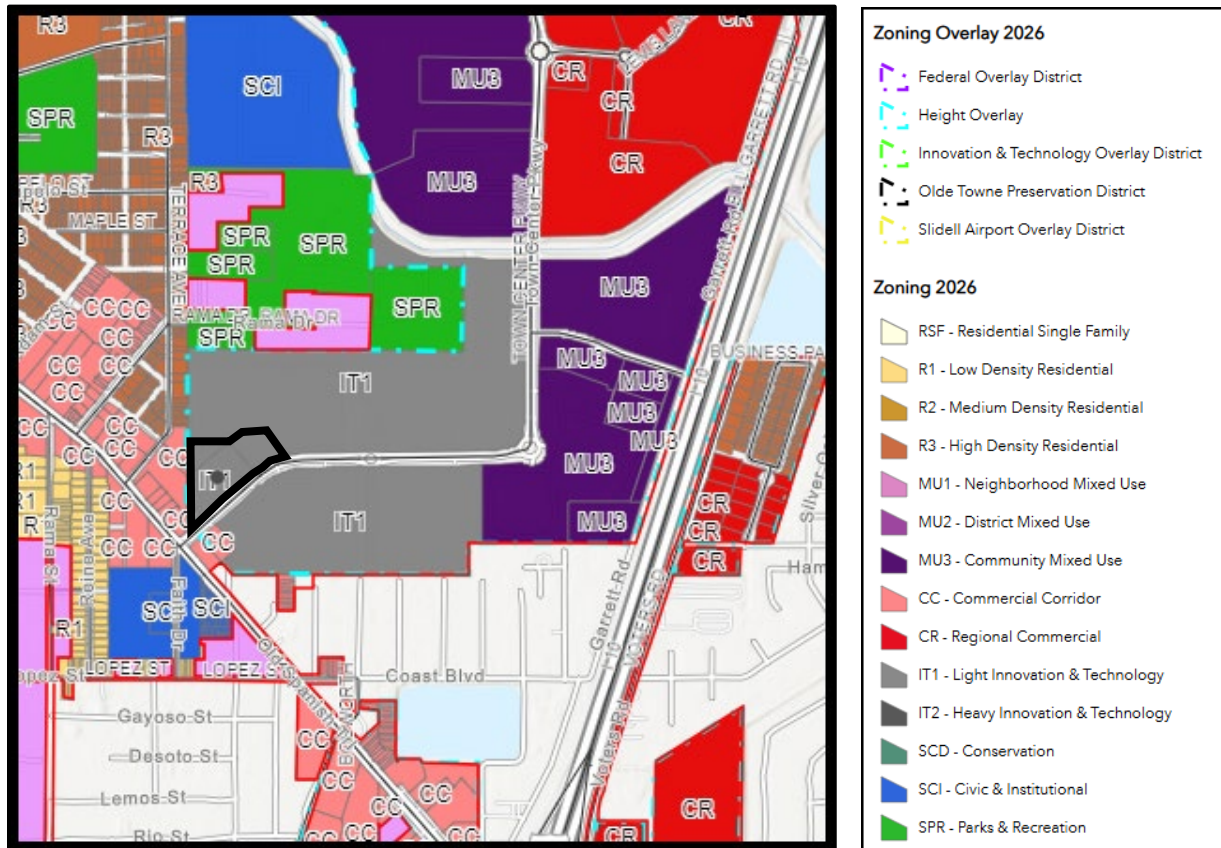


Figure 5. Preliminary Resubdivision (*uncorrected*)

(*see following page*)

Figure 6. FEMA Flood Map (Panel) 221030495F

