



City of Slidell, Louisiana

Olde Towne Preservation District Commission

Agenda



SCAN ME
for the
OTPDC website

January 14, 2026 at 5:00pm

Council Chambers, 2045 2nd St, Slidell, LA

Agenda packet available at myslidell.com/planning/boards/otpd

For questions or to provide public comment before the meeting,
email OTPDC@cityofslidell.org or call (985) 646-4320 (M-F 8am to 4:30pm)

- Please silence all phones and electronic devices.
- For all Appeals, fees apply per Appendix F of the City of Slidell Municipal Code.
- All Speakers must sign in at the podium before speaking on any issue.
- Public Speaking – 5 minutes is allowed per each side and 3 minutes for additional comments.
- Please exit the building immediately after the conclusion of the meeting.

1. Call to Order and Roll Call

2. Minutes. Review and approve minutes from December 10, 2025

3. Public Hearings

- a. **CA2025-0029:** A request for a Certificate of Appropriateness for exterior improvements to include new ADA parking, ADA ramp, primary entrance door, and trash enclosure at 1928 Sgt Alfred Drive.

4. Other Business

5. Informational Items

6. General and Public Comments

7. Adjournment

The next Olde Towne Preservation District Commission meeting will be February 11, 2026.



City of Slidell, Louisiana

Olde Towne Preservation District Commission Minutes

December 10, 2025 at 5:00 pm

City of Slidell Planning Dept. Conference Room-250 Bouscaren Street, Suite 203, Slidell, LA

1. **Call to Order and Roll Call.** Meeting called to order by Chair Clayton at 5:00 p.m.

Commissioners Present

Jason Clayton, Chair

Michelle Cramer

Laura Scariano

Commissioners Not Present

Jordan Granier, Vice Chair

Jodi Stamps

Staff Present

Daniel McElmurray, Planning Director

Erica Smith, Planning Secretary

2. **Minutes.** Motion by Commissioner Cramer to approve minutes of August 13, 2025 as written; Commissioner Scariano seconded. A vote of 3 YAYS, 0 NAYS, 0 ABSTAIN approved the minutes.

3. **Public Hearings**

- a. There were no public hearings for this meeting.

4. **Other Business**

- a. **Meeting Policies.**

Director McElmurray addressed the Commission regarding the need for Rules of Order to be followed at each meeting. Chair Clayton made a motion to adopt the Rules of Order. Commissioner Cramer seconded. A vote of 3 YAYS, 0 NAYS, 0 ABSTAIN adopted the Rules of Order.

- b. **Election of Officers for 2026**

Commissioner Cramer nominated Jason Clayton for Chair and Laura Scariano for Vice Chair of the OTPDC for 2026. Commissioner Scariano seconded the nomination of Jason Clayton for Chair and Chair Clayton seconded the nomination of Commissioner Scariano for Vice Chair. Jason Clayton was elected Chair and Laura Scariano was elected Vice Chair of the OTPDC by a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN.

- c. **Adoption of the 2026 Meeting Calendar**

Director McElmurray presented the Commission with the 2026 Meeting Calendar. Chair Clayton made a motion to adopt the 2026 Meeting Calendar. Commissioner Scariano seconded. The 2026 Meeting Calendar was adopted with a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN

5. **Informational Items**

- a. **Unified Development Code Update**

Director McElmurray provided the Commission with an update of the UDC with discussion.

- b. **Continuing Education**

Commissioner Cramer recommended to the Commission that they attend the State Preservation Meeting in Hammond, LA March 26-27, 2026 to accrue continuing education hours.

6. **General and Public Comments.** There were none.

7. **Adjournment.** Meeting adjourned at 5:31 p.m. on motion by Chair Clayton, seconded by Commissioner Scariano, and a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN.



Staff Report

Case No. CA2025-0029

Certificate of Appropriateness for Exterior Changes at
1928 Sgt Alfred Drive

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1928 Sgt Alfred Dr (*Figure 1*)

Historic Status: Contributing historic structure within the OTPD (Circa 1925) (LHRI: 52-00183)

Owner: 1928 Sergeant Alfred Drive LLC

Applicant: Joe Schneider, Architect

Zoning: C-2 Neighborhood Commercial/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for Exterior Changes (see Findings for complete details)

OTPDC Meeting: 1/14/2026

STAFF RECOMMENDATION

Approval

SCOPE OF WORK

1. 1928 Sgt Alfred Drive is developed with a Single-Use building (*Figure 2*).
2. It was built (circa 1925) as a single-family home that has been converted into a commercial building.
3. The applicant proposes to improve the building to meet ADA standards for its new proposed use for physical therapy. (*Figure 3*).
4. The proposed changes as shown in **Figures 3a-3d** include:
 - a) Remove the existing wood front entrance to replace with ADA compliant clearance entrance. Exact same material and design of existing door (including any replacement trim).
 - b) Construction of an ADA compliant ramp with wood ramp with wood detailing and metal balusters, connecting the ADA Parking in the rear of the building along the side of the building to the front entrance. This work will include the required striping of the concrete.
 - c) New concrete work to construct one ADA compliant parking space with a striped loading area for handicap at the rear of the access driveway behind the building.
 - d) Removing the rear stairs, and railing at rear of the building to avoid conflict with the new ADA parking. Door will remain.
 - e) 4'x5'x4' wood fence with 36" wood gate waste can enclosure in the rear yard (not visible from the street).
5. The proposed changes will not impact or significantly change the appearance and use of the building. See **Figure 4** for complete set of plans as submitted.

STANDARDS FOR REVIEW

6. This request is for exterior alteration to create an ADA Compliant structure. It is reviewed against the standards of the general design guidelines of Sec. 2-2217 *Design guidelines for Olde Towne and Fremaux Corridor* of Appendix A *Zoning* of the City of Slidell Code of Ordinances. The following factors are considered in this request for a Certificate of Appropriateness:
- New Entrance Door.* The new entrance door located at the front of the building will be the same design as the existing with natural finish, wider to comply with ADA regulations.
 - ADA Ramp and Parking.* The addition of the ramp and parking will not detract from any contributing factors of the structure and allows for compliance with ADA regulations.
 - Materials.* The proposed materials for the new entrance door, ramp, and waste can enclosure have historic context and are appropriate materials.

FINDINGS

7. The proposed improvements are consistent with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location Aerial (STP Assessor Map)



Figure 2. Street View (Google



Figure 3.a. New Entrance

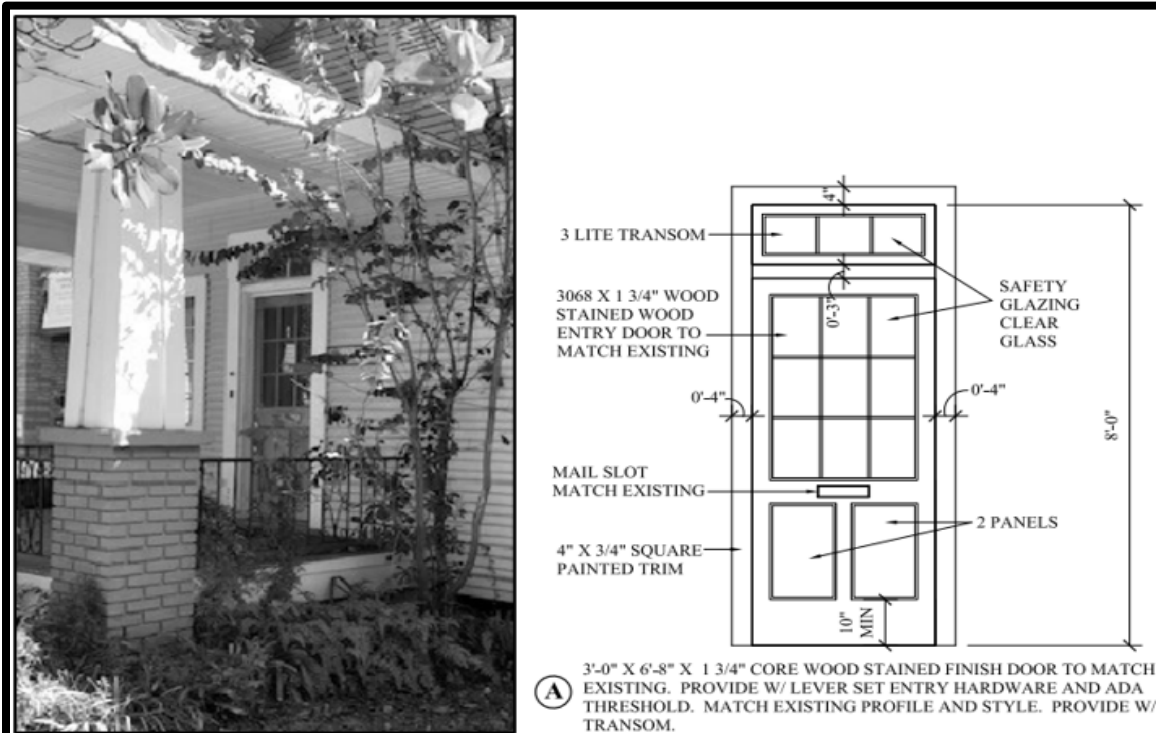


Figure 3.b. ADA Ramp and Parking

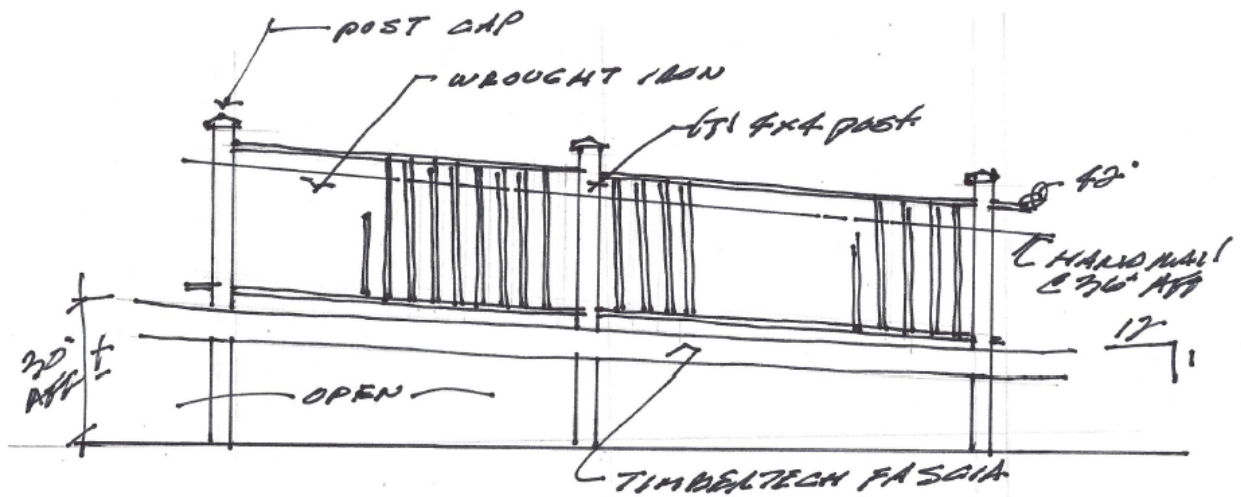


Figure 3.c. ADA Parking

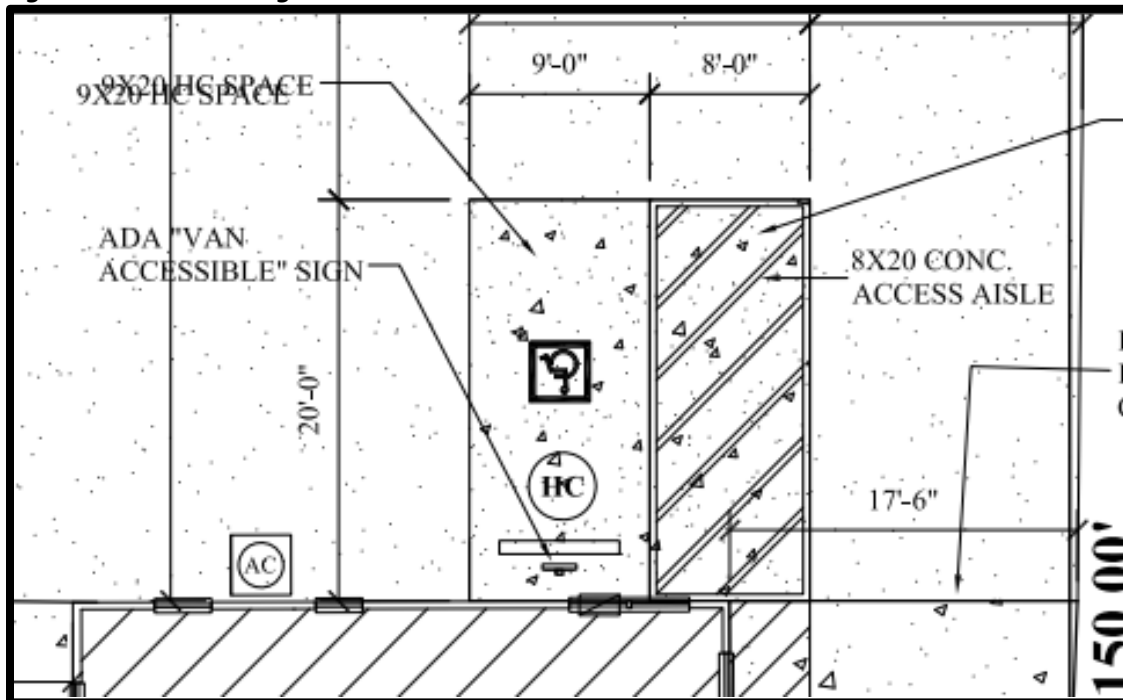


Figure 3.d. Removal of rear steps and railing



Figure 4. Construction plans as submitted.

See following pages

ABBREVIATIONS	
ACT	ACCOUSTICAL TILE
A.F.S	ABOVE FLOOR SLAB
AHU	AIR HANDLER UNIT
ALUM	ALUMINUM
CLG	CEILING
C.J.	CONTRACTION JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DET	DETAIL
DG	DOOR GRILLE
ELEV	ELEVATION
EW	ELECTRIC WATER COOLER
E.J.	EXPANSION JOINT
FD	FIRE DAMPER
FE	FIRE EXTINGUISHER
F.F.	FACTORY FINISH
FLR	FLOOR
F.O.B.	FACE OF BRICK
F.O.S.	FACE OF STUD/ FACE OF SLAB
GA	GAUGE
GALV	GALVANIZED
GYP BD	GYPNUM BOARD
HDW	HARDWOOD
H.MET	HOLLOW METAL
HT	HEIGHT
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
P	PAINT AND COLOR NO.
PL	PLASTIC LAMINATE AND COLOR NO.
PT	PRESSURE TREATED
PVC	POLY VINYL CHLORIDE
RAD	RADIUS
R/A/G	RETURN AIR GRILLE
REINF	REINFORCING
RET	RETAINING
SCWD	SOLID CORE WOOD
SIM	SIMILAR
SHT	SHEET
SQ	SQUARE
STL	STEEL
THK	THICK
T.J.	TOOLED JOINT
T.O.B.	TOP OF BRICK
TYP	TYPICAL
USPS	UNITED STATES POSTAL SERVICE
VCT	VINYL COMPOSITION TILE
WD	WOOD
WWF	WELDED WIRE FABRIC

SYMBOLS

	EARTH & FILL		GRAVEL
	CONCRETE		BRICK
	CMU		RIGID INSULATION
	FINISH WOOD		STEEL
	ROUGH WOOD/STUDS OR BLOCKING		BATT INSULATION
	PLYWOOD		GYPNUM DRYWALL
	ACCOUSTICAL TILE		

PLAN & SECTION INDICATIONS

	BRICK		CONCRETE
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ELEVATION INDICATIONS

	BUILDING OR WALL DETAIL		WINDOW NUMBER
	DETAIL REFERENCE		DOOR NUMBER
	CONTROL POINT ELEVATION		SITE GRAPHIC
			FXP FIXTURE NUMBER

GENERAL PROJECT NOTES:

THE STRUCTURAL CONSTRUCTION DOCUMENT REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS).

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF ANY ENGINEER REGISTERED IN THE STATE OF LOUISIANA.

THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AS REQUIRED FOR VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.

SHOP DRAWING NOTES:

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY SPECIFICATIONS.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON HIS REVIEW. ALL SHOP DRAWINGS SHALL BE REVIEW STAMPED BY CONTRACTOR PRIOR TO SUBMITTAL.

VERIFY ALL DIMENSIONS:

ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES, SHALL TO BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

THE ARCHITECT MAY DISAPPROVE CHANGES TO THE SHOP DRAWINGS IDENTIFIED AND SUBMITTED BY THE CONTRACTOR DURING SHOP DRAWING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT ARE NOT TO BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

CONTRACTOR SHALL NOT REPRODUCE ANY PORTION OF CONTRACT DOCUMENTS FOR SHOP DRAWINGS.

DRAWING INDEX

T-1	TITLE SHEET
PH-1	EXISTING SITE PHOTOGRAPHS
S-1	SITE PLAN/ RAMP PLAN & DETAILS
A-1	EXISTING FLOOR PLAN
A-2	DEMOLITION PLAN & NOTES
A-3	FLOOR PLAN- NEW WORK/ DETAILS
ADA-3	ADA DETAILS
ADA-4	ADA DETAILS

INTERIOR RENOVATIONS LESS 50% LEVEL-2 FOR
MEDICAL REHAB CENTER
1928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458

PROJECT DESCRIPTION: MINOR INTERIOR RENOVATIONS TO AN EXISTING BUILDING CONSTRUCTED IN 1939. PREVIOUS OCCUPANCY "B" BUSINESS- OFFICES.

EXISTING BUILDING GROSS SQUARE FOOTAGE

GROSS BUILDING AREA: 1,650 SQ. FT.

OCCUPANCY LOAD: (TOTAL BUILDING)

BUSINESS "B": 1650 SF/150 11 OCCUPANTS

TOTAL OCCUPANTS: 11 OCCUPANTS

CODES:

2015 EDITION NFPA LIFE SAFETY CODE-NINTH EDITION- 101
2021 EDITION INTERNATIONAL BUILDING CODE
2020 EDITION NATIONAL ELECTRIC CODE (WITH LOUISIANA AMENDMENTS)
2021 EDITION INTERNATIONAL MECHANICAL CODE
2021 EDITION INTERNATIONAL FUEL GAS CODE
2021 EDITION INTERNATIONAL PLUMBING CODE (LOUISIANA PLUMBING CODE W/ AMENDMENTS)
2021 EDITION IBC EXISTING BUILDING CODE
2021 EDITION COMMERCIAL ENERGY CODE
ADA- ABA JULY 2004 (ALSO KNOWN AS THE 2010 EDITION)

EXISTING OCCUPANCY: GROUP "B" - IBC-2021, NFPA 101-2015
CONSTRUCTION: TYPE- VB
WIND SPEED: 140 MPH- 3 SEC GUST- IBC 2021
FIGURE 1609C- V-ULT (1609.3) IBC SECTION 1609
"B" - IBC-2021 (1609.4.2)
WIND ZONE:
FLOOD CATEGORY: "A"
RISK CATEGORY: II- IBC 2021 (TABLE 1604.5)
ROOF LOAD: 20 PSF
SNOW LOAD: 5 PSF
FLOOR LOAD: 100 PSF

CONSTRUCTION: TYPE VB
EXISTING BUSINESS "B"
NEW OCCUPANCY "B" BUSINESS

GENERAL NOTES:

- ALL INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450.
- INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD OF 0-75 AND SMOKE DEVELOPED RATING OF 0-450. CLASS "A" AT INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS.
2A. INTERIOR WALLS AND CEILINGS FINISHES AT CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS SHALL BE CLASS "B" FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450
2B. INTERIOR WALLS AND CEILINGS AT ROOMS AND ENCLOSED SPACES SHALL BE CLASS "C": FLAME SPREAD 0-200, SMOKE DEVELOPED 0-450
- PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH NFPA AND BE 4A-60BC, 10 LB. WALL MOUNTED WITH BRACKETS AT 5'-0" TO CENTER OF EXTINGUISHER DIAL. - TYPE "K" AT KITCHEN WHERE INDICATED ON PLANS.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70- 2020 EDITION.
- ALL HVAC WORK SHALL COMPLY WITH NFPA 101.9.2. - 2015 EDITION, NEC 2020 EDITION
- CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.
- CONTRACTOR TO PROVIDE ALL INSURANCE DURING THE PROJECT AS INDICATED ON BID FORMS.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL CLOSE-OUT DOCUMENTS, WARRANTIES, GUARANTEES, O&M MANUAL, LIEN WAIVERS, AIA FORMS 6706 & G706A, CONSENT OF SURETY, CONTRACTOR'S ONE YEAR WARRANTY, AND "AS-BUILT DRAWINGS".
- ALL GYPSUM BOARD SHALL BE 5/8" ON FIRE RATED BOARD ON RATED WALLS WHERE INDICATED ON PLANS.
- INSTALL ADA SIGNS AT ALL TOILET ROOMS. EACH SIGN SHALL BE 8" HIGH X 6" WIDE MOUNTED PER ADA REQUIREMENTS. FURNISH SIGNS WITH HANDICAPPED SYMBOL AND BRAILLE TYPE. SIGN SHALL BE LABELED "MEN" & "WOMEN".
- PROVIDE "ADA" WALL MOUNTED "EXIT" (NON ILLUMINATED) SIGN AT ALL EXITS. COORDINATE LOCATION WITH ARCHITECT.
- ALL MEMBRANE PENETRATION SHALL CONFORM TO IBC 2021 - 711.3.2 AND 711.3.1.2.

THESE DESIGN AND CONSTRUCTION DOCUMENTS AT THE SOLE PROPERTY OF JOSEPH F. SCHNEIDER, JR. AIA, ARCHITECT. NO USE OR REPRODUCTION OF THESE DOCUMENTS OR PARTIAL USE OR PARTIAL REPRODUCTION IS ALLOWED. NO USE OF THESE DRAWINGS WITHOUT THE WRITTEN EXPRESSED PERMISSION OF JOSEPH F. SCHNEIDER, JR. ARCHITECT IS ALLOWED.

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY REQUIREMENTS, AND THAT I AM ADMINISTERING THE PROJECT.

BY:
LICENSE NO. 4206

REVISIONS	BY

INTERIOR RENOVATIONS
MEDICAL REHAB
1928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458

JOSEPH F. SCHNEIDER JR., AIA
ARCHITECT

LA #4206 MS #3020 AL #8724 FL #AR95908 TX #24294
105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460
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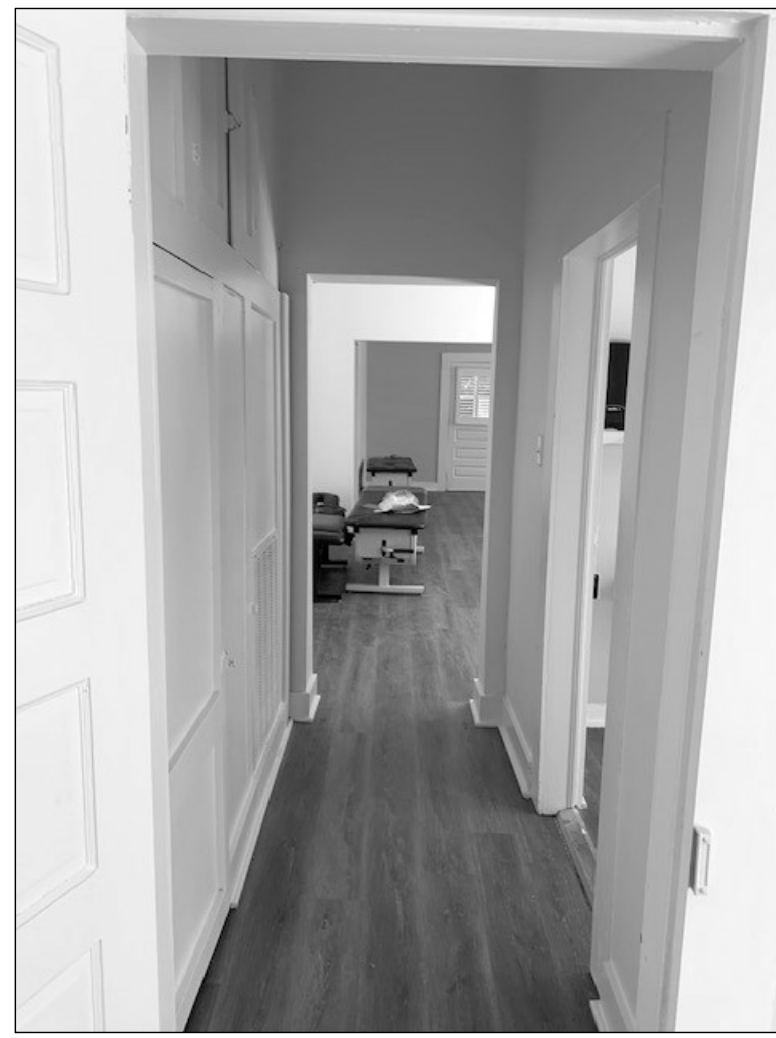
CHECKED
J. SCHNEIDER

DATE
11/10/2025

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AS NOTED

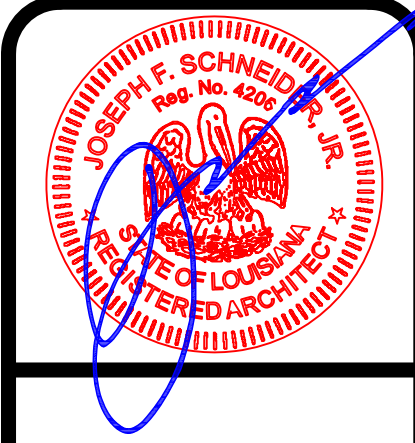
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SHEET
T-1
OF SHEETS



EXISTING SITE PHOTOGRAPHS

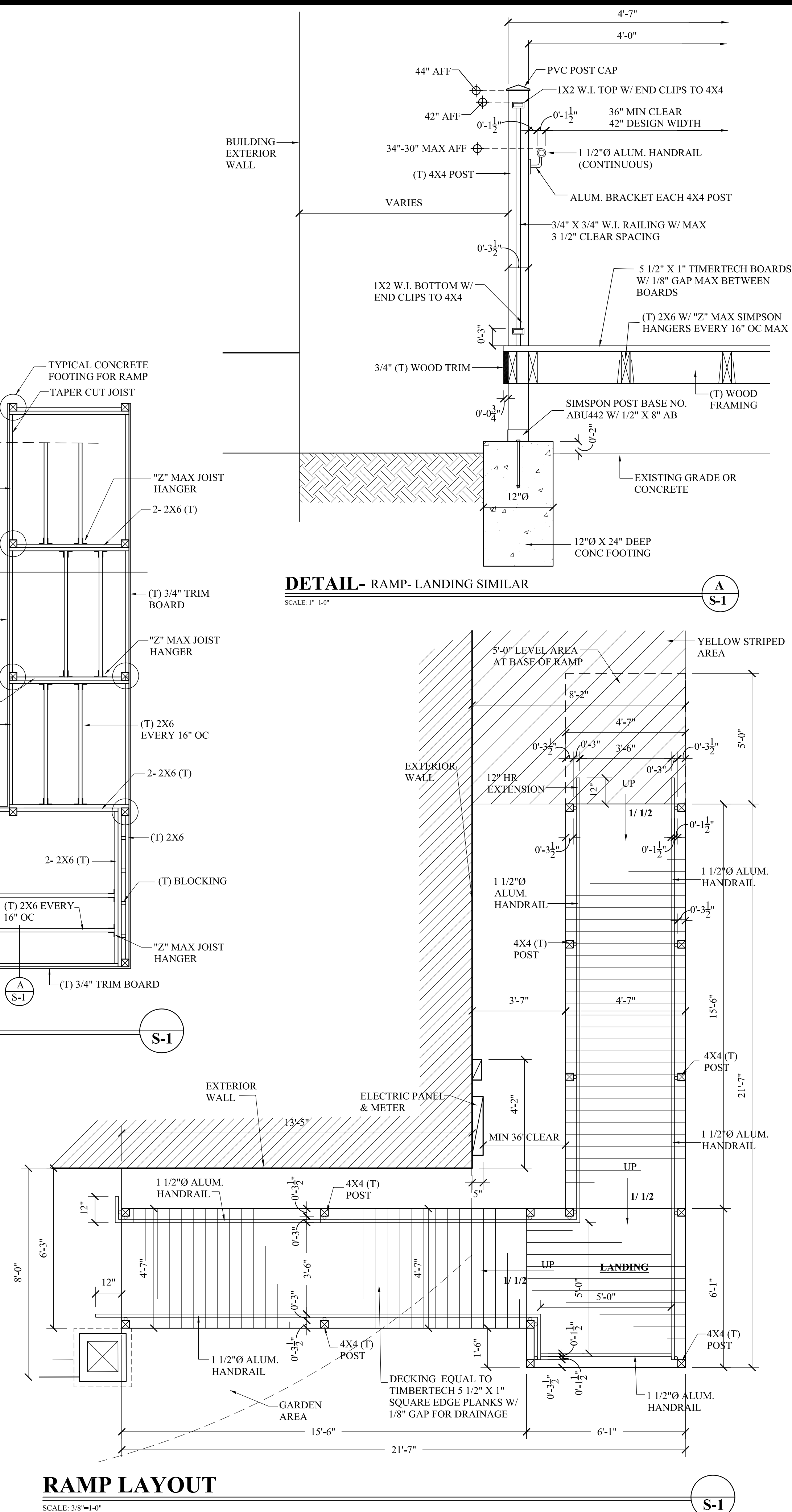
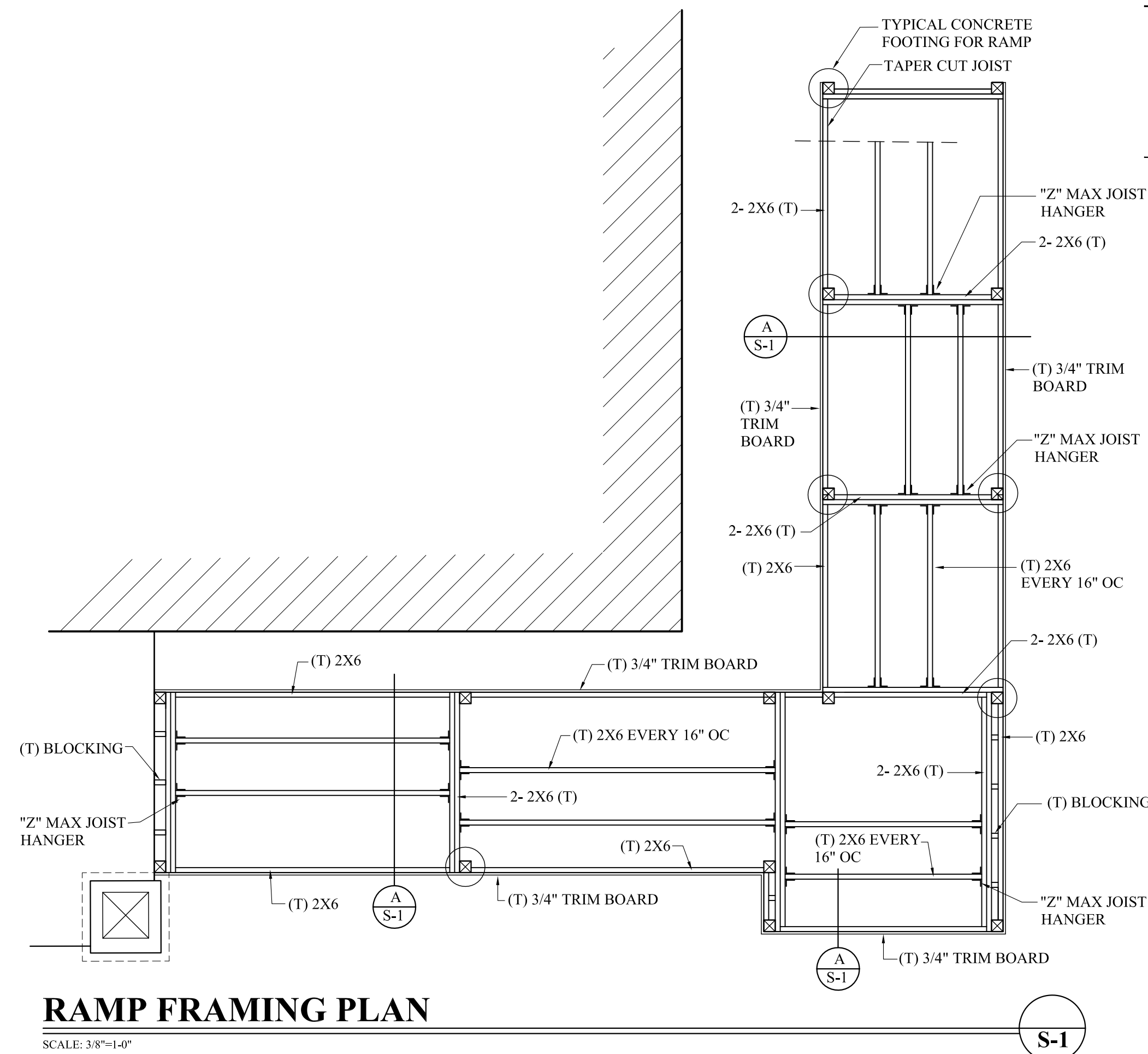
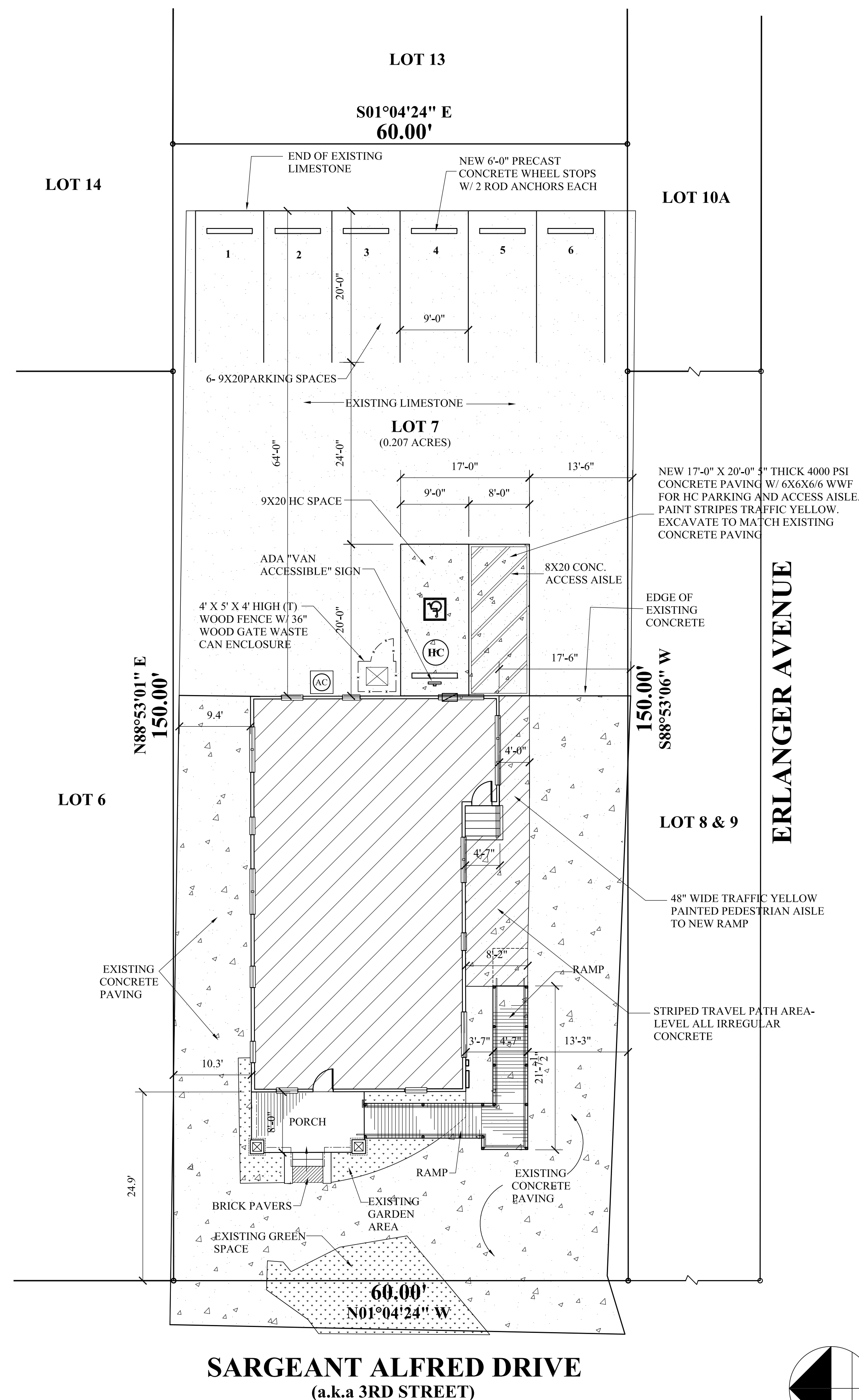
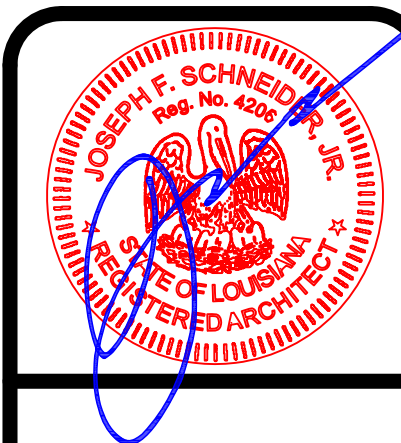
REVISIONS	BY



INTERIOR RENOVATIONS
LESS 50% LEVEL-2 FOR
MEDICAL REHAB CENTER
1928 SERGEANT ALFRED STREET
SLIDELL, LOUISIANA 70458

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DRAWN
CHECKED J. SCHNEIDER
DATE 11/12/2025
SCALE AS NOTED
JOB NO.
SHEET PH-1 OF SHEETS

[illegible]

**INTERIOR RENOVATIONS
MEDICAL REHAB
1928 SERGEANT ALFRED DRI
SLIDELL, LOUISIANA 70450**

JOSEPH F. SCHNEIDER JR., AIA
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jfs@architect@charter.net

DRAWN H. SCHNEIDER
CHECKED J. SCHNEIDER
DATE 12/02/2025
SCALE AS NOTED
JOB NO.
SHEET S-1 OF SHEETS

JOSEPH F. SCHNEIDER JR., AIA
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105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460
(985) 290-6648 **jfsarchitect@charter.net**

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DATE 12/02/2025
SCALE AS NOTED
JOB NO.

SHEET
A-1
SHEETS

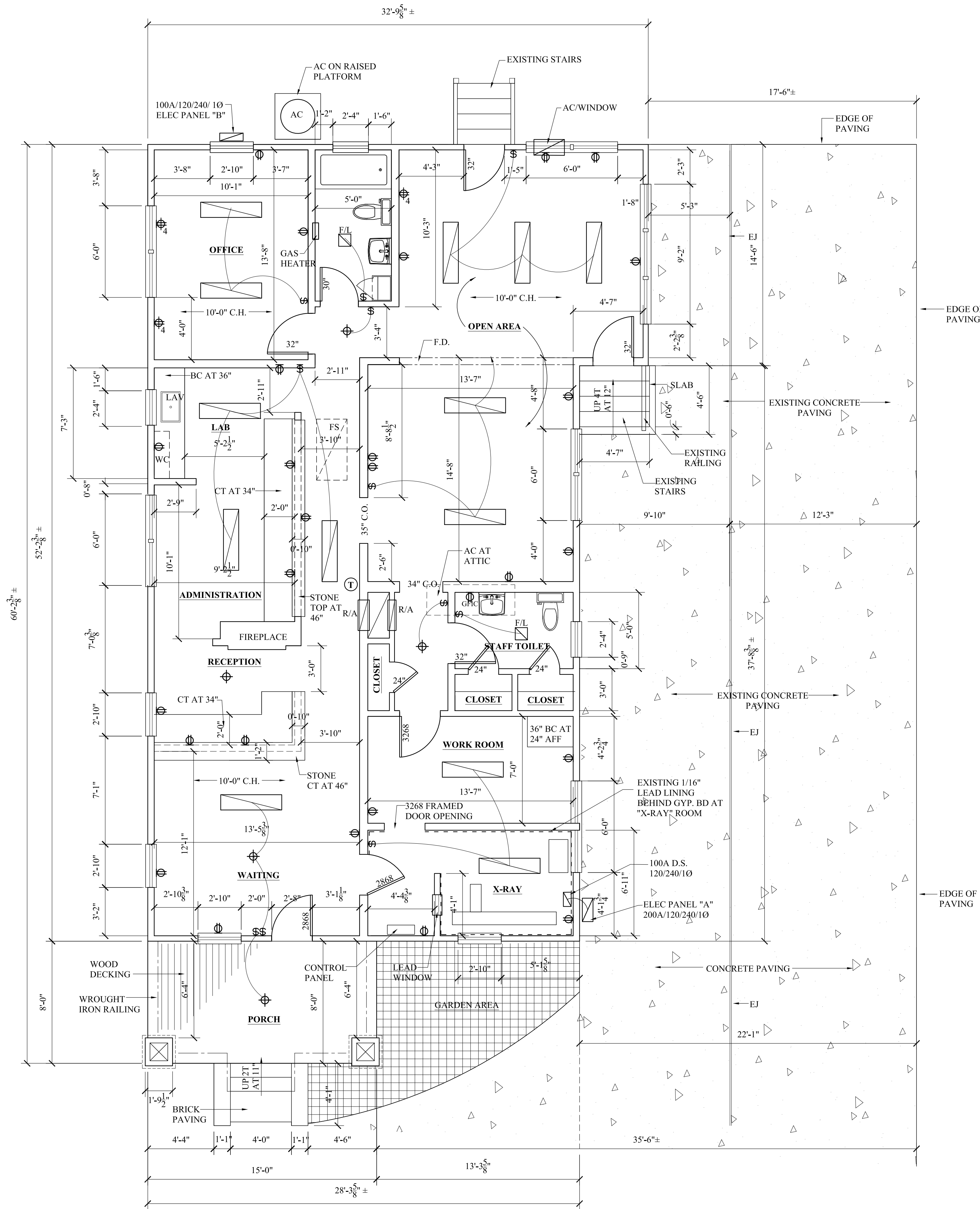
① EXISTING WALL 220V/10/30A WALL RECEPTACLE LOCATIONS TO REMAIN. REMOVE EXISTING NON-SHEATHED ROMEX WIRING FROM RECEPTACLES TO PANE. REPLACE WITH METALLIC SHEATHED FLEXIBLE "HCF-MCAP" CONDUCTOR FROM RECEPTACLE TO EXISTING PANEL CIRCUITS.

1. METAL CLAD CABLE EQUAL TO COPPER "THHN" "HCF-MCAP" HOSPITAL CARE FACILITY INSULATED CONDUCTORS AND GREEN INSULATED GROUND CONDUCTOR WITH FILL SIZED ALUMINUM EQUIPMENT GROUNDING/ BONDING CONDUCTOR UL-83, 1569 AND 1063 RATED, METAL-CLAD CABLE.
2. ALL INSTALLATION SHALL CONFORM TO 2020 NEC ARTICLES 517 AND 330.
3. ALL WORK SHALL COMPLY WITH NFPA 70, ARTICLE 330.
4. ELECTRICAL CODE BASED ON LOUISIANA ELECTRICAL CODE 2020 EDITION- ADOPTED WITH NFPA 70, 2020 AMENDED.

WIRING IN ALL PATIENT CARE AREAS, AND FUTURE PATIENT AREAS SHALL COMPLY WITH NEC 2020 517.13(A) AND (B). ALSO APPLIES FOR COMPLIANT REDUNDANT EQUIPMENT GROUNDING AT ALL RECEPTACLES AT PATIENT CARE AREAS AND AT ALL HARDWIRED MEDICAL EQUIPMENT CONNECTIONS.

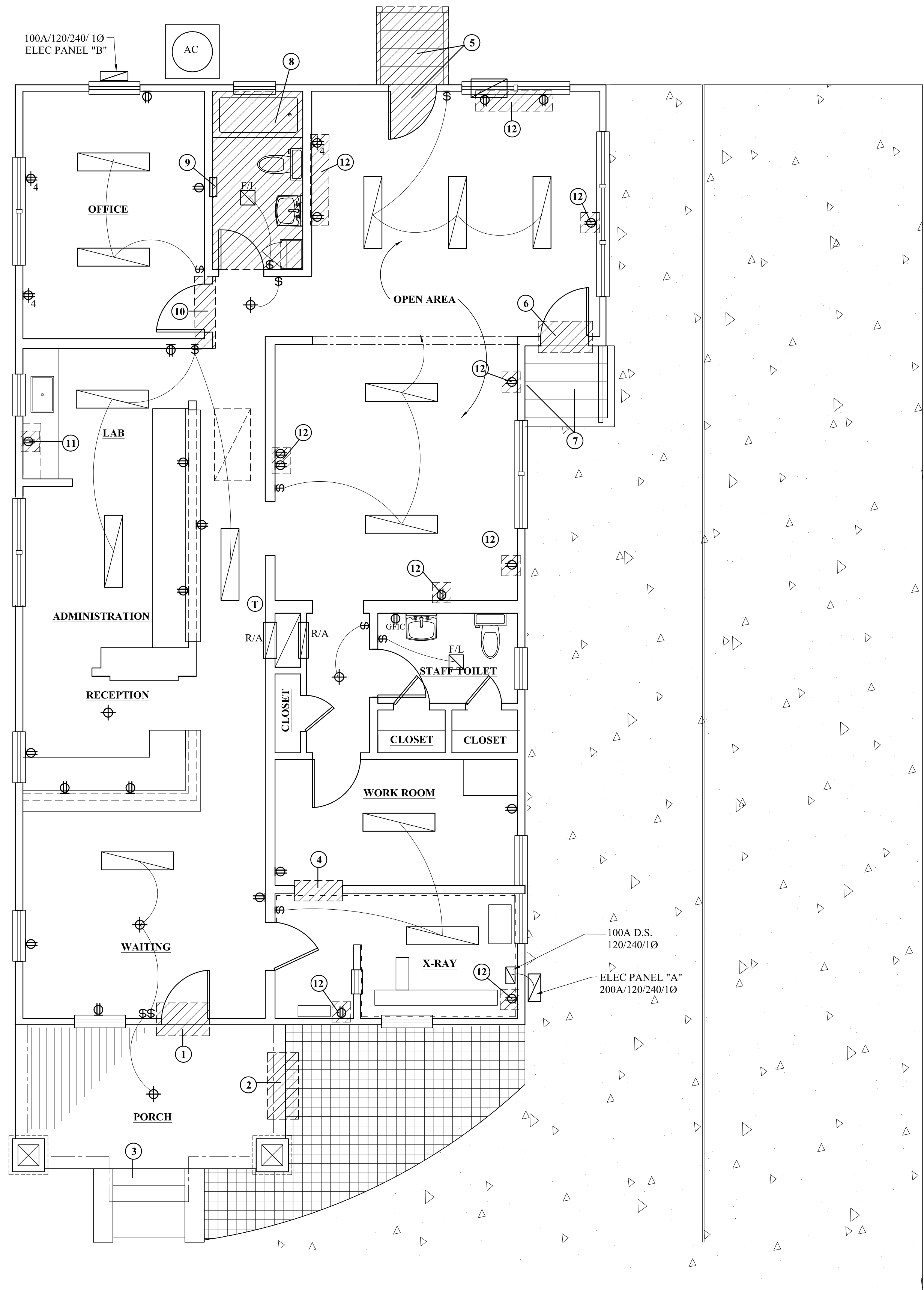
(A) ALL BRANCH CIRCUITS SERVING PATIENT CARE AREAS SHALL BE PROVIDING WITH A GROUND PATH FOR FAULT CURRENT BY INSTALLATION IN A METAL RACEWAY SYSTEM, OR A CABLE ARMOR OR SHEATH ASSEMBLY. THE METAL RACEWAY SYSTEM, OR CABLE ARMOR, OR SHEATH ASSEMBLY, TYPE AC, MC, TYPE MI CABLES SHALL AN OUTER METAL ARMOR OR SHEATH THAT IS IDENTIFIED AS AN ACCEPTABLE GROUNDING RETURN PATH.

(B) IN AN AREA USED FOR PATIENT CARE, THE GROUNDING TERMINALS OF ALL RECEPTACLES AND NON-CURRENT-CARRYING CONDUCTIVE SURFACES OF FIXED ELECTRIC EQUIPMENT LIKELY TO BECOME ENERGIZED THAT ARE SUBJECT TO PERSONAL CONTACT, OPERATING AT OVER 100 VOLTS, SHALL BE GROUNDED BY AN INSULATED COPPER CONDUCTOR. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250.122 AND INSTALLED IN METAL RACEWAYS OR METAL-CLAD CABLES WITH THE BRANCH-CIRCUIT CONDUCTORS SUPPLYING THESE RECEPTACLES OR FIXED EQUIPMENT.



SCALE: 1/4" = 1'-0"

THESE DESIGN AND CONSTRUCTION DOCUMENTS AT THE SOLE PROPERTY OF JOSEPH F. SCHNEIDER, JR. AIA, ARCHITECT. NO USE OR REPRODUCTION OF THESE DOCUMENTS OR PARTIAL USE OR PARTIAL REPRODUCTION IS ALLOWED. NO USE OF THESE DRAWINGS WITHOUT THE WRITTEN EXPRESSED PERMISSION OF JOSEPH F. SCHNEIDER, JR. ARCHITECT IS ALLOWED.



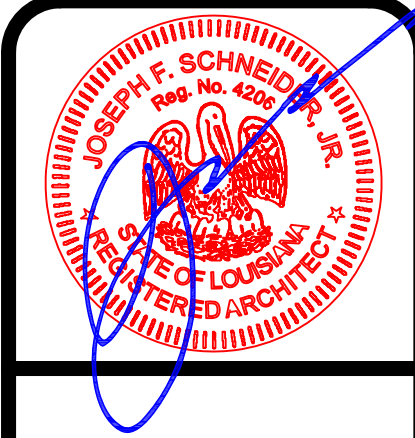
FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

- 1 REMOVE EXISTING 2868 DOOR AND TRANSOM. MODIFY OPENING FOR NEW MATCHING 3068 DOOR AND TRANSOM. REFER TO DOOR "A" DRAWING.
- 2 MODIFY EXISTING WROUGHT IRON RAILING'S OPENING FOR NEW HC RAMP.
- 3 CLEAN EXISTING BRICK STAIR RISER AND TREADS.
- 4 REMOVE EXISTING 2868-5 PANEL DOOR FROM OFFICE TO X-RAY. INSTALL OWNER FURNISHED 1/16" LEAD LINING TO X-RAY SIDE OF DOOR. PROVIDE AND INSTALL NEW LEVER PASSAGE SET HARDWARE.
- 5 REMOVE EXISTING REAR DOOR CONCRETE STAIRS AND RAILING. REMOVE ALL HARDWARE AND PARCH OPENINGS WHERE REMOVED. SECURE DOOR FOR NON-OPERATION. INSTALL OWNER FURNISHED SHELVING UNIT IN FRONT OF DOOR.
- 6 EXISTING 2868 DOOR TO REMAIN. REMOVE ALL DOOR HARDWARE. PARCH AND REPAIR DOOR. PROVIDE AND INSTALL NEW LEVER FUNCTION ENTRY DOOR HARDWARE. PROVIDE SIGN ON INTERIOR AND EXTERIOR "STAFF ONLY."
- 7 CLEAN EXISTING STAFF ONLY" STAIRS. INSTALL NEW ALUMINUM HANDRAIL AS INDICATED ON NOTE "H" NEW CONSTRUCTION NOTES.
- 8 REMOVE ALL PLUMBING FIXTURES, LINEN CLOSET, ENTRY DOOR. REPAIR FLOOR SHEATHING FOR NEW FLOORING. MODIFY EXISTING DOOR OPENING FOR NEW 3068 ENTRY DOOR. REFER TO NEW HC TOILET ROOM DRAWINGS. PROVIDE WALL BLOCKING ALL ALL ACCESSORIES, GRAB BARS, ETC. MODIFY EXISTING PLUMBING FOR NEW FIXTURES AS INDICATED ON DRAWINGS.
- 9 REMOVE EXISTING WALL GAS HEATER. REPAIR WALL.
- 10 REMOVE EXISTING 5 PANEL 2868 DOOR AND MODIFY OPENING FOR NEW DOOR AS INDICATED-ON DRAWINGS. REPAIR ALL ADJACENT WALL FINISHES.
- 11 EXISTING WALL OUTLET TO BE MODIFIED TO BE GFIC.
- 12 EXISTING 120V WALL POWER OUTLETS IN TREATMENT/REHAB AREAS TO BE MODIFIED TO COMPLY WITH NECO 2020. REFER TO NEW WORK DRAWINGS AND NOTES.

REVISIONS	BY



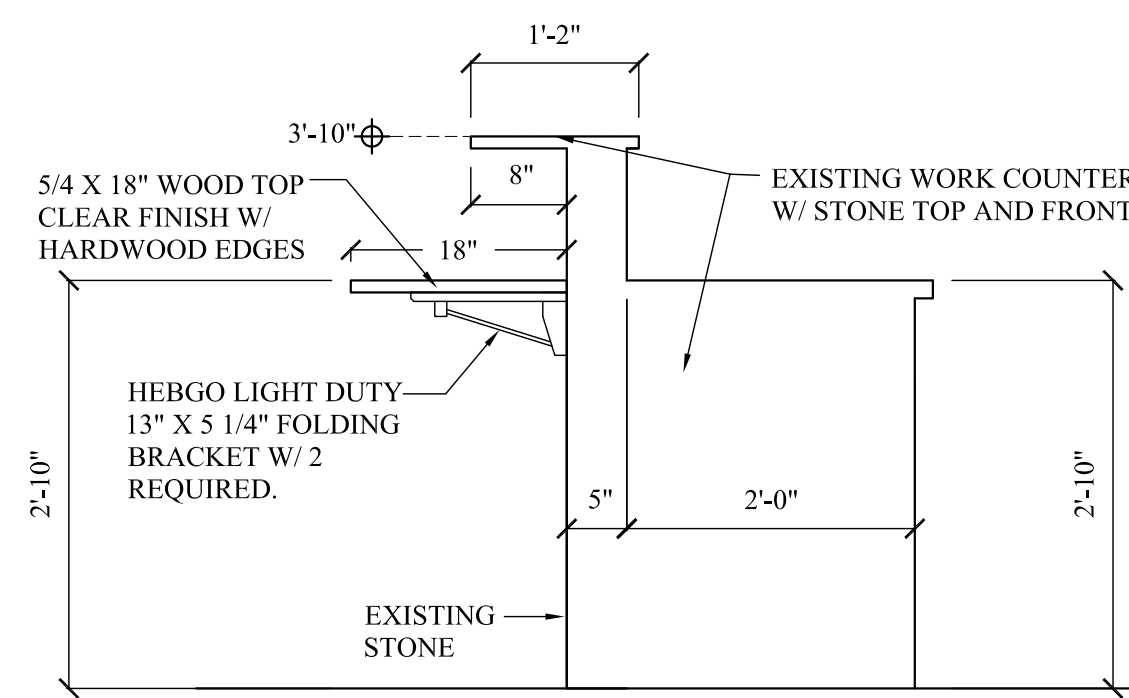
INTERIOR RENOVATIONS
MEDICAL REHAB
1928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458

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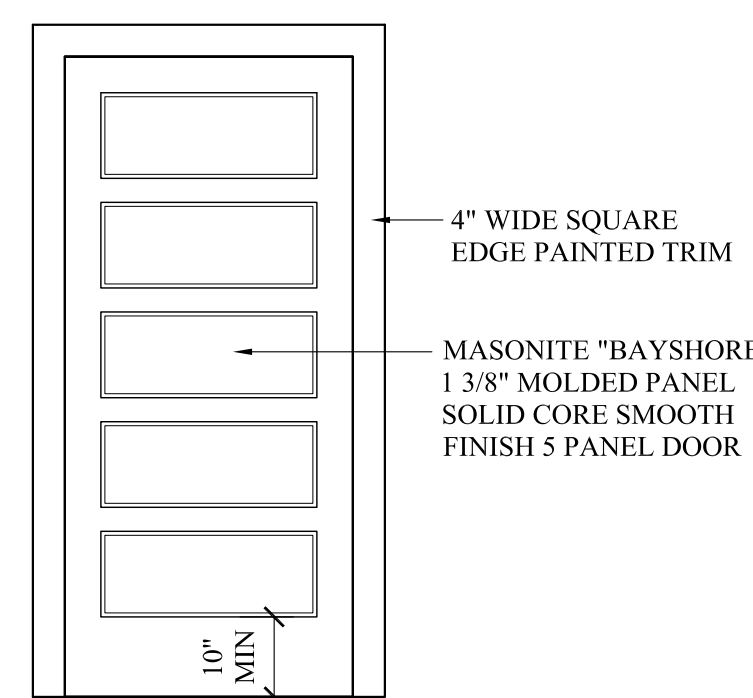
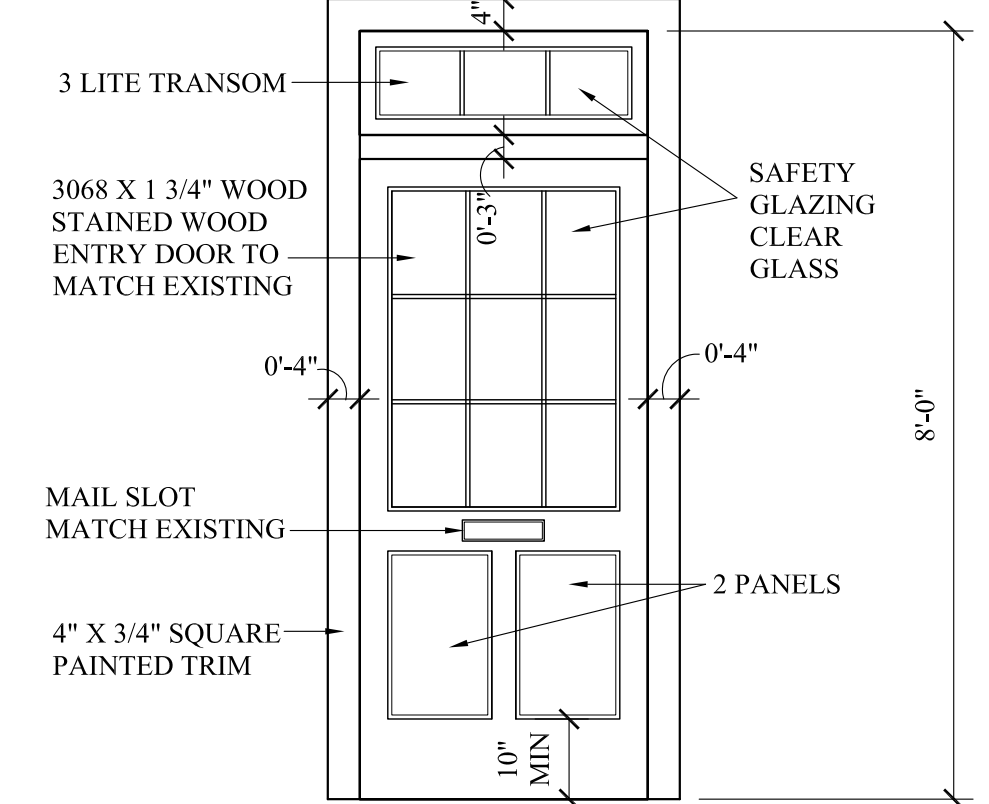
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A-2
OF SHEETS

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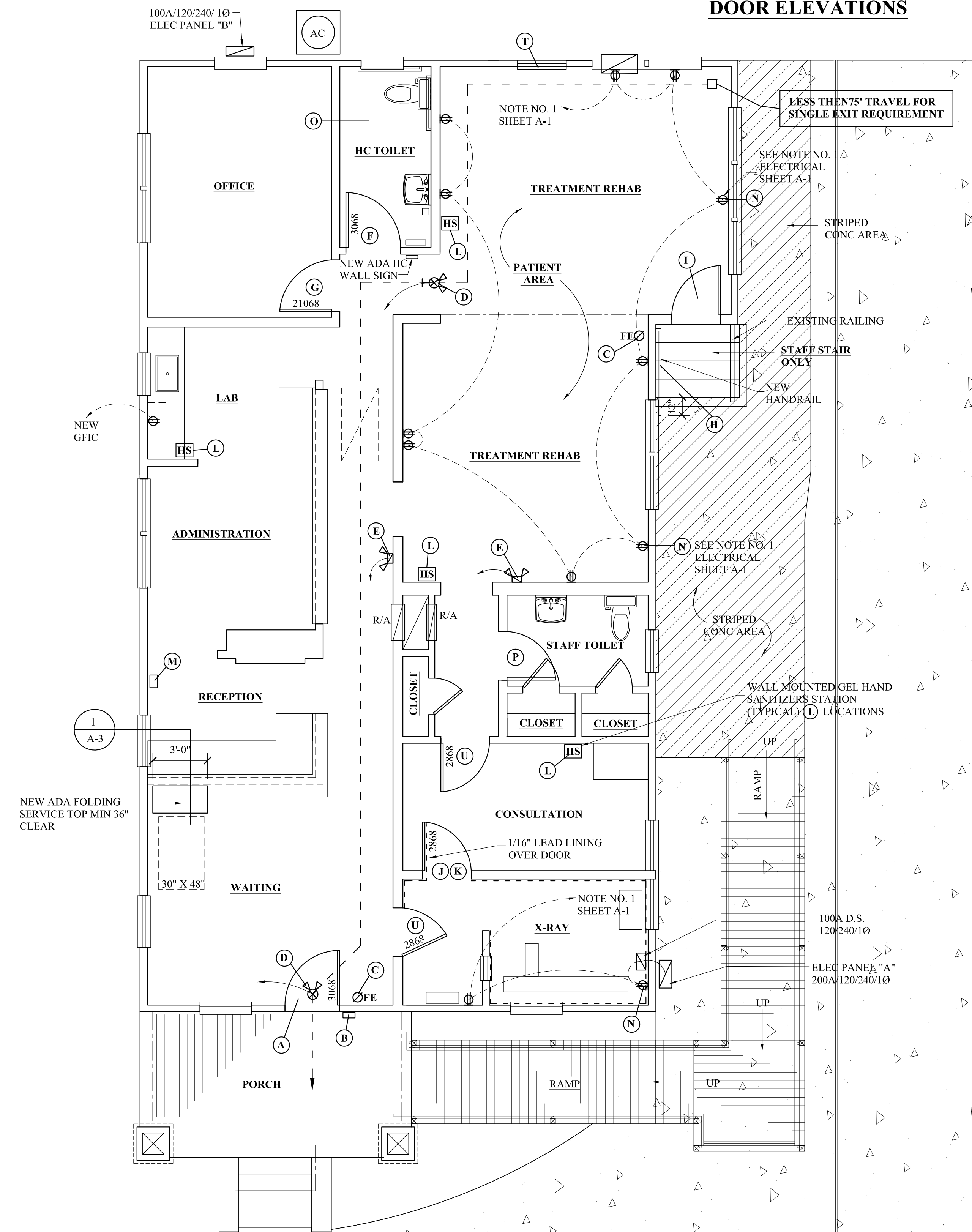


ELEVATION

SCALE: $3/4^{\circ} = 1-0$

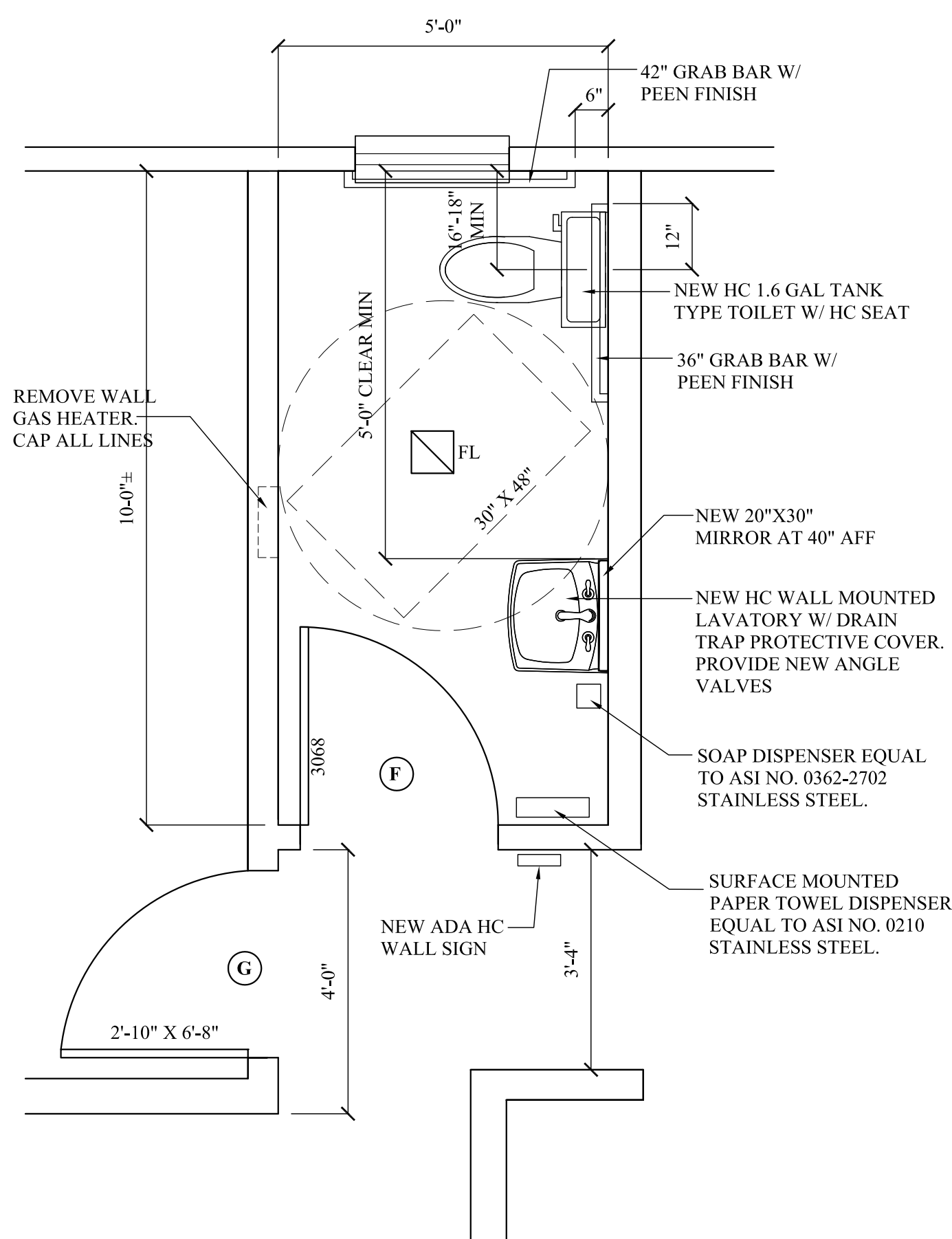


DOOR ELEVATIONS

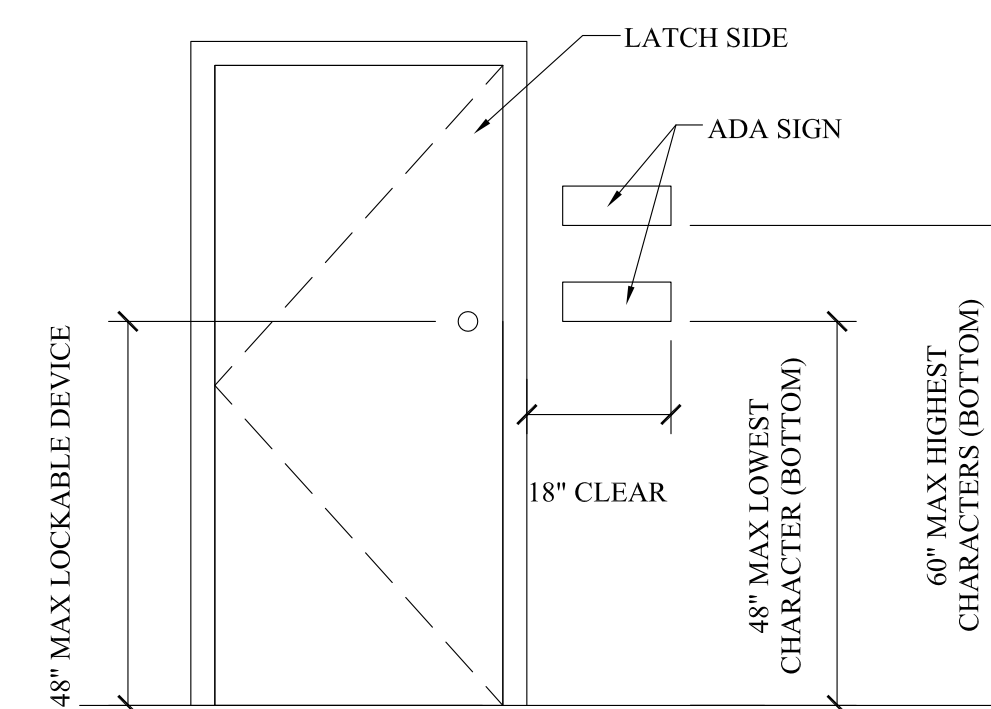


FLOOR PLAN - NEW WORK

SCALE: 1/4" = 1'-0"

**ROOM FINISHES-NEW HC TOILET ROOM**

FLOOR: NEW LUXURY VINYL PLANK TILE.
BASE: 6" PAINTED 1X6 WITH SHOE MOLDING-EPOXY PAINT.
WALLS: REPAIRED AND SKIM ALL WALL SURFACES-EPOXY PAINT.
CEILING: EXISTING GYPSUM BOARD PAINTED
C.H. EXISTING 10'-0"

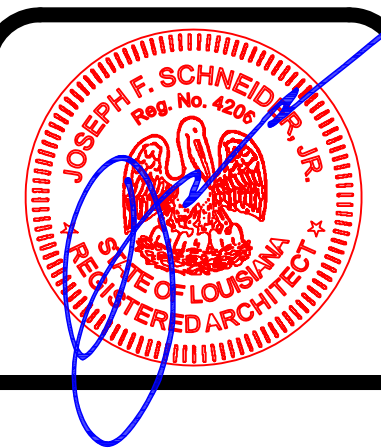


TYPICAL TOILET ROOM SIGN LOCATION

FLOOR PLAN - HC TOILET ROOM

SCALE: 1/2" = 1'-0"

- (A) NEW 3068 X 1-3/4" WOOD/GLASS DOOR, STAIN FINISH. PROVIDE WITH NEW ENTRY HARDWARE SET WITH LEVER. PROVIDE WITH MAIL SLOT. NEW DOOR AND TRANSOM TO MATCH EXISTING ENTRY DOOR.
- (B) NEW BATTERY POWER DOOR BELL WITH ADA SIGNS "IF YOU NEED ENTRY ASSISTANCE, PLEASE RING FOR STAFF"
- (C) NEW ALL MOUNTED 4A60BC PORTABLE FIRE EXTINGUISHER, WITH SIGNAGE.
- (D) NEW 90-MINUTE 120V, LED BATTERY DUAL HEAD EMERGENCY/EXIT LIGHT FIXTURE. CONNECT TO UNSTITCHED CIRCUIT.
- (E) NEW LED WALL MOUNTED 120V, 90-MINUTE BATTERY DUAL HEAD EMERGENCY LIGHT. CONNECT TO UNSWITCHED CIRCUIT.
- (F) NEW 3068 X 1X1/8" INTERIOR 5 PANEL DOOR AND FRAME AS INDICATED ON PLANS. PROVIDE WITH LEVER PRIVACY CYLINDER HARDWARE.
- (G) NEW 2'-10"X 6'-8"X 1-3/8" INTERIOR 5 PANEL DOOR AND FRAME AS INDICATE DON PLANS. PROVIDE WITH LEVER OFFICE FUNCTION CYLINDER HARDWARE.
- (H) NEW 1-1/2" ALUMINUM WALL MOUNTED HANDRAIL. MOUNT AT 36" AFF. EXTEND 12" MINIMUM PAST STAIRS AT BOTTOM TREAD.
- (I) PROVIDE NEW CYLINDER ENTRY HARDWARE SET WITH LEVER ON EXISTING DOOR. REFER TO DEMOLITION NOTE NO.6.
- (J) RELOCATE EXISTING 2868- 5 PANEL INTERIOR DOOR FROM REAR OFFICE TO X-RAY. PROVIDE WITH NEW CYLINDER LEVER PASSAGE HARDWARE.
- (K) INSTALL OWNER FURNISHED 1/16" LEAD LINING ON RELOCATED DOOR.
- (L) NEW WALL MOONED HAND GEL SANITIZING STATION. OWNER PROVIDES, CONTRACTOR INSTALLED.
- (M) WALL MOUNTED DOOR RINGER FOR FRONT DOOR ENTRY ASSISTANCE.
- (N) EXISTING 120V WALL MOUNTED OUTLETS WIRING IN ROMEX NON-SHEATHED WIRING SHALL BE UPDATED TO MCAP RACEWAY/WIRING. REFER TO NOTE-1 FOR INFORMATION SHEET A-1 ELECTRICAL NOTES.
- (O) RENOVATION OF EXISTING TOILET ROOM FOR NEW HC TOILET ROOM. FRERE TO DRAWINGS FOR INFORMATION.
- (P) EXISTING TOILET ROOM SHALL BE LABELED WITH SIGNAGE "STAFF ONLY." PROVIDE WITH NEW LEVER PRIVACY CYLINDER HARDWARE SET.
- (Q) NEW CONCRETE HANDICAPPED PARKING. REFER TO DRAWINGS FOR DETAILS.
- (R) NEW ADA RAMP. REFER TO DRAWINGS FOR DETAILS AND INFORMATION.
- (S) EXISTING CONCRETE TO BE LEVEL AND YELLOW TRAFFIC STRIPPING AS INDICATED ON PLANS.
- (T) CONTRACTOR TO INSTALL OWNER FURNISHED SHELVEING UNIT. REFER TO DEMOLITION NOTE NO.5.
- (U) EXISTING 5 PANEL 2868 DOOR. REMOVE EXISTING HARDWARE AND PROVIDE WITH NEW LEVER CYLINDER HARDWARE SET PASSAGE FUNCTION.

[illegible]

**INTERIOR RENOVATIONS
MEDICAL REHAB
1928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458**

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SCALE	AS NOTED

JOB NO.

SHEET

A-3

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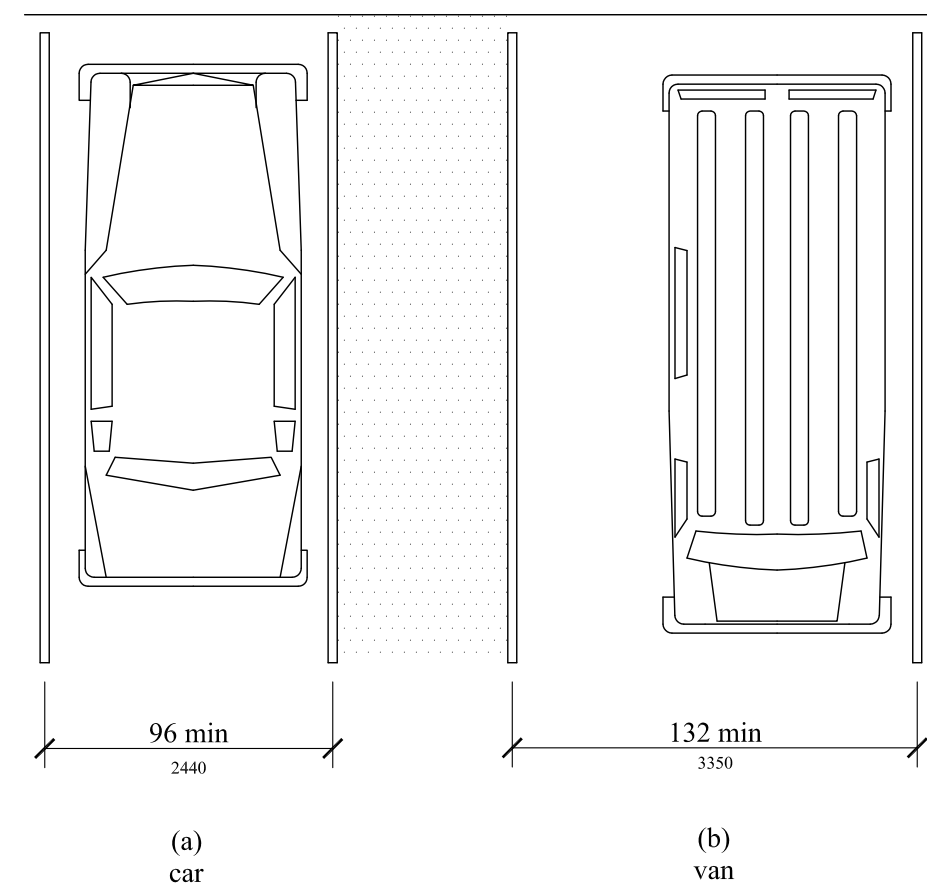


FIGURE 502.2
VEHICLE PARKING SPACES

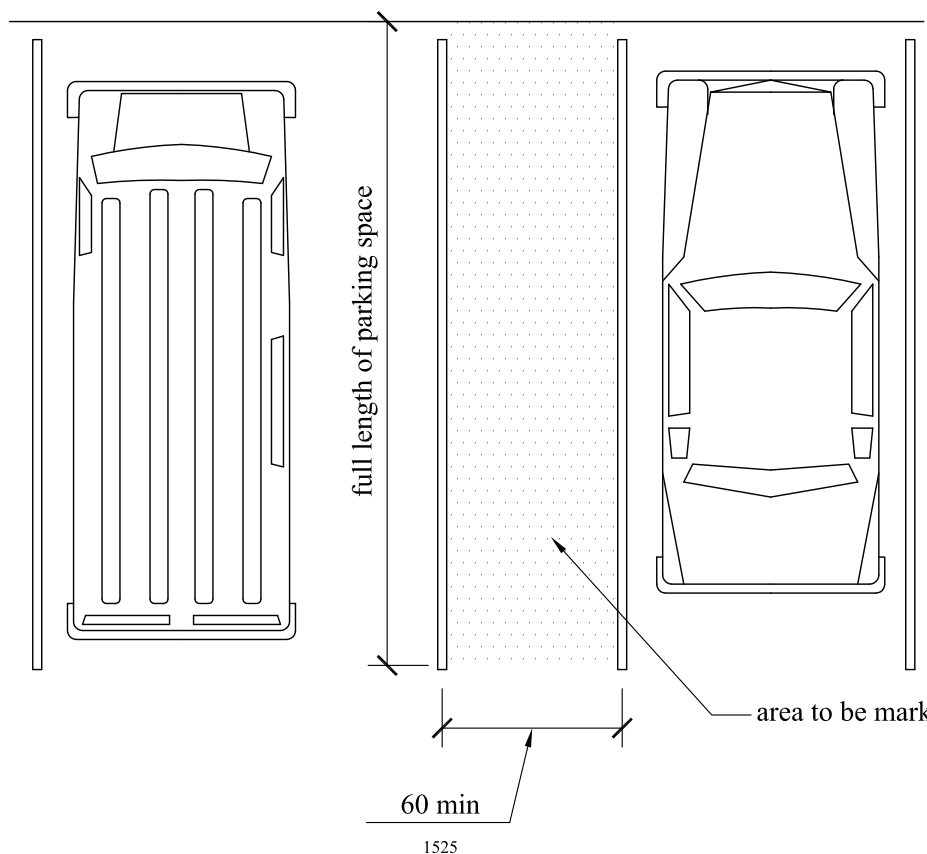


FIGURE 502.3
PARKING SPACE ACCESS AISLE

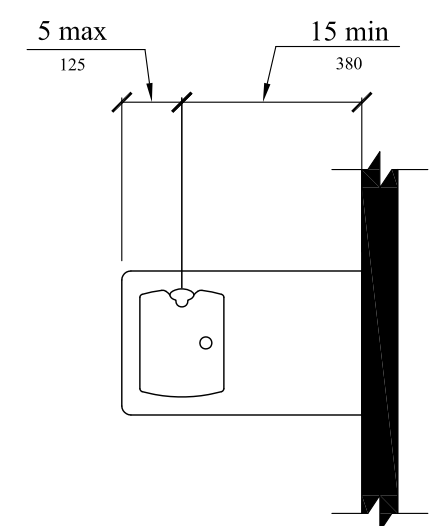


FIGURE 602.5
DRINKING FOUNTAIN
SPOUT LOCATION

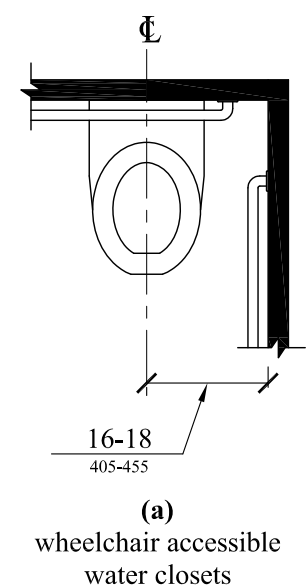


FIGURE 604.2
WATER CLOSET LOCATION

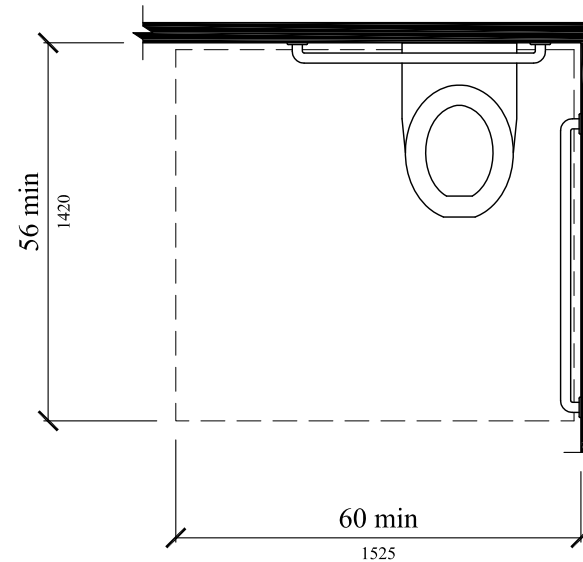
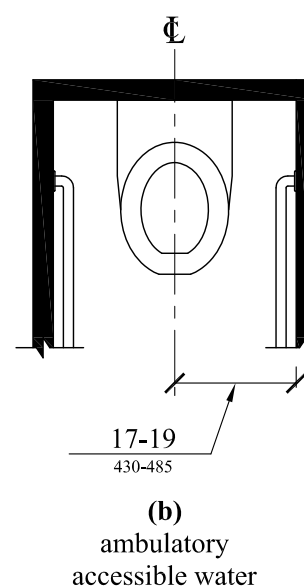


FIGURE 604.3.1
SIZE OF CLEARANCE
AT WATER CLOSETS

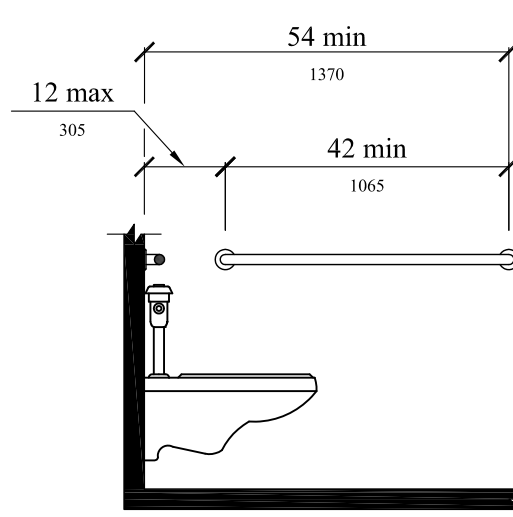


FIGURE 604.5.1
SIDE WALL GRAB BAR
AT WATER CLOSETS

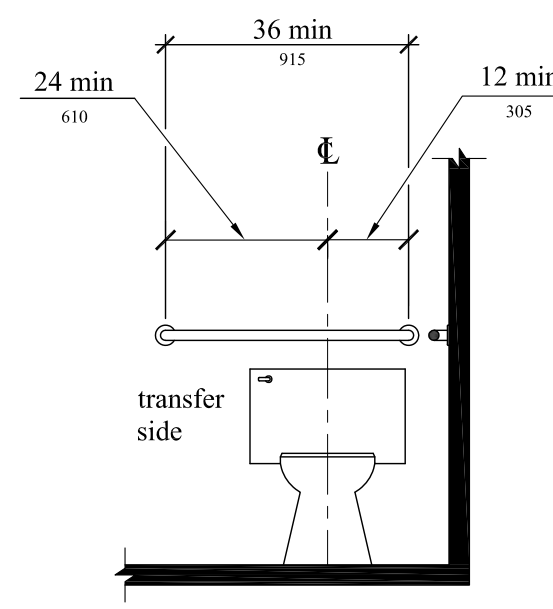


FIGURE 604.5.2
REAR WALL GRAB BAR
AT WATER CLOSETS

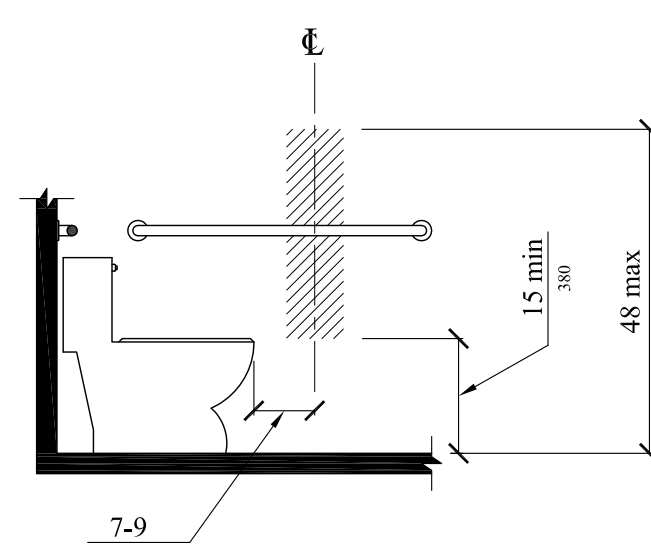


FIGURE 604.7
DISPENSER OUTLET LOCATION

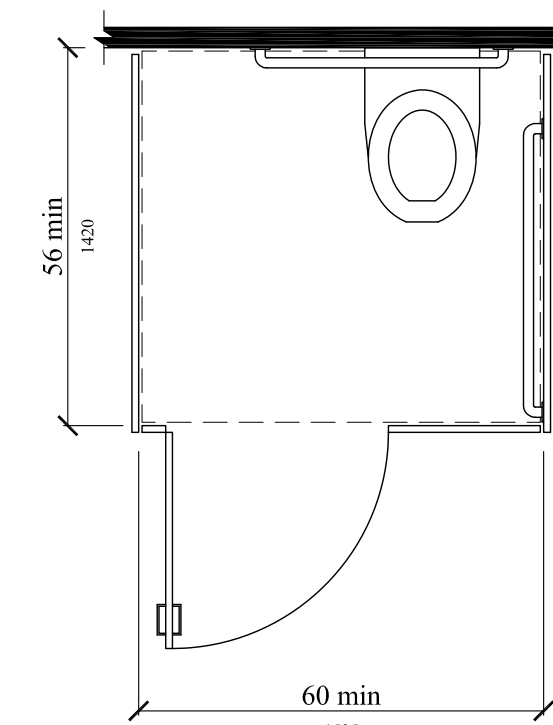


FIGURE 604.8.1.1
SIZE OF WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT

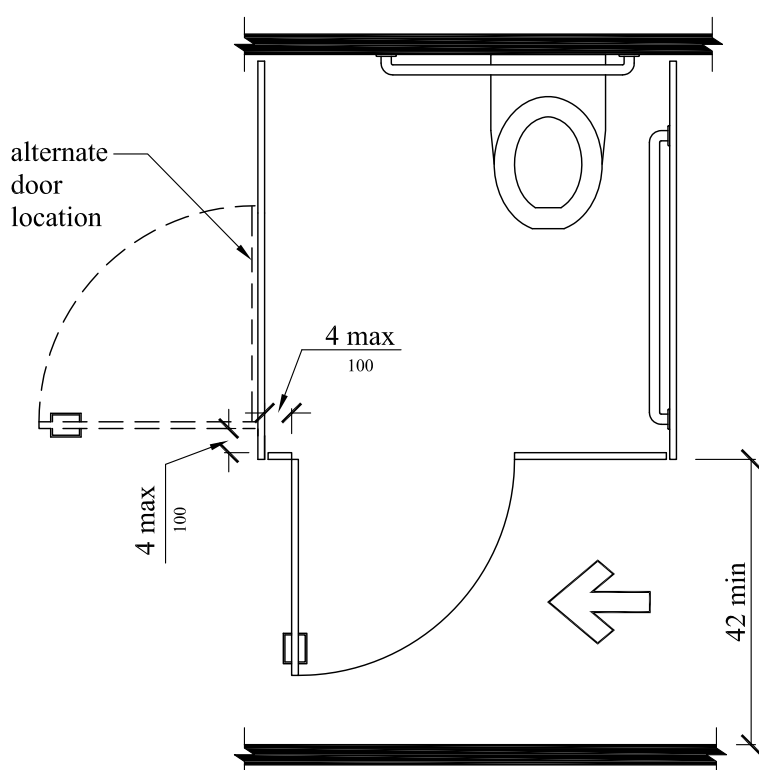
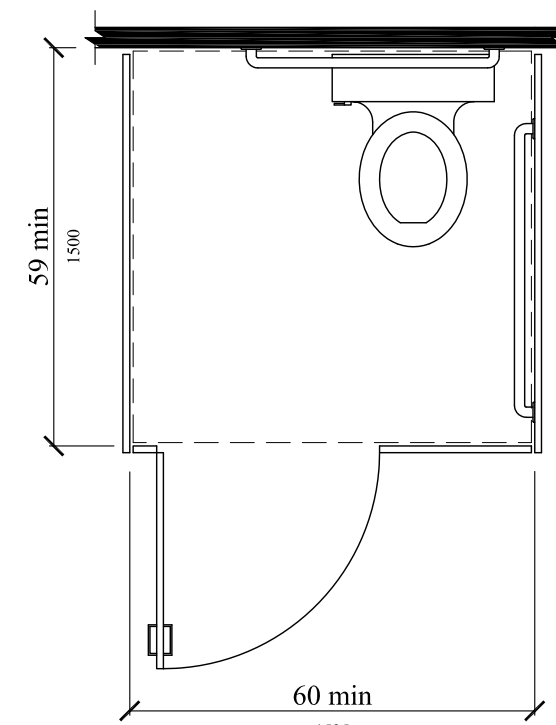


FIGURE 604.8.1.2
WHEELCHAIR ACCESSIBLE TOILET
COMPARTMENT DOORS

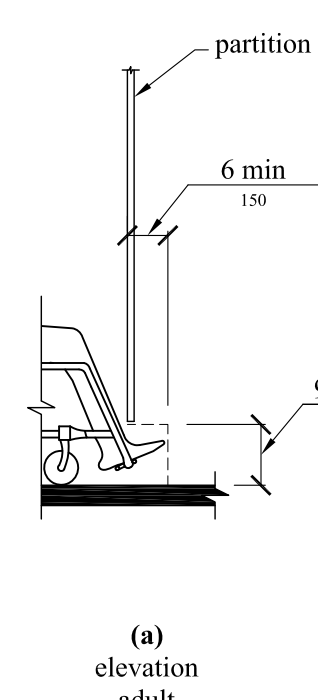


FIGURE 604.8.1.4
WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE

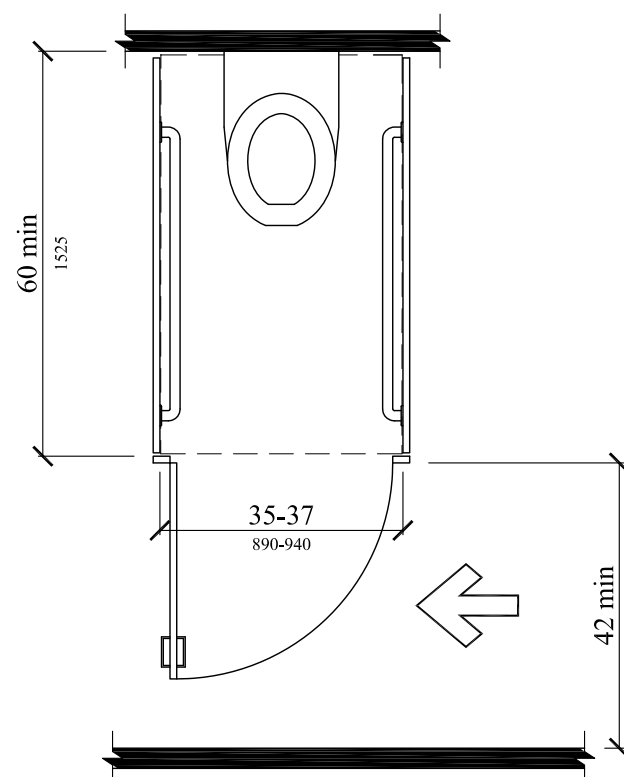
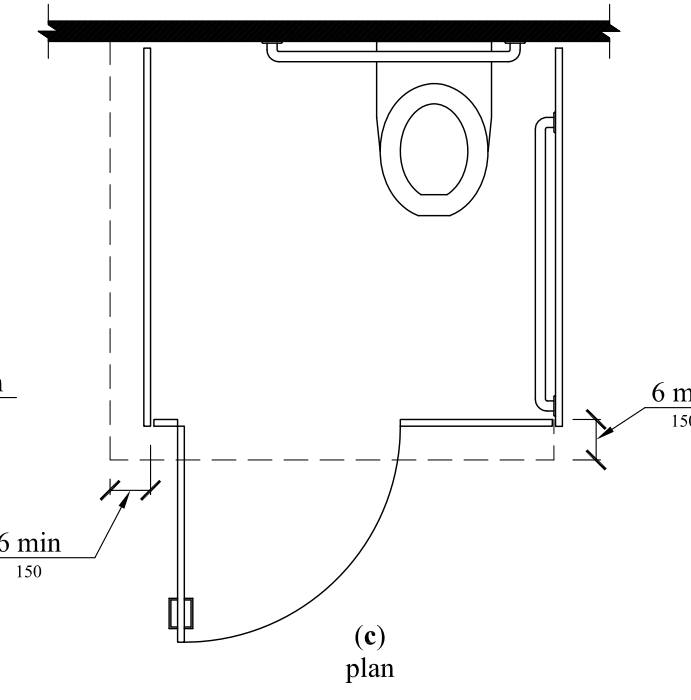
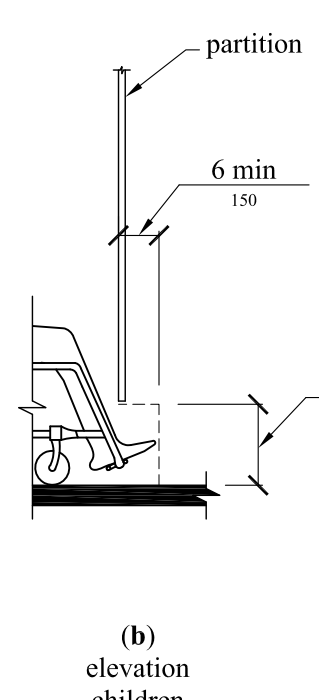


FIGURE 604.8.2
AMBULATORY ACCESSIBLE
TOILET COMPARTMENT

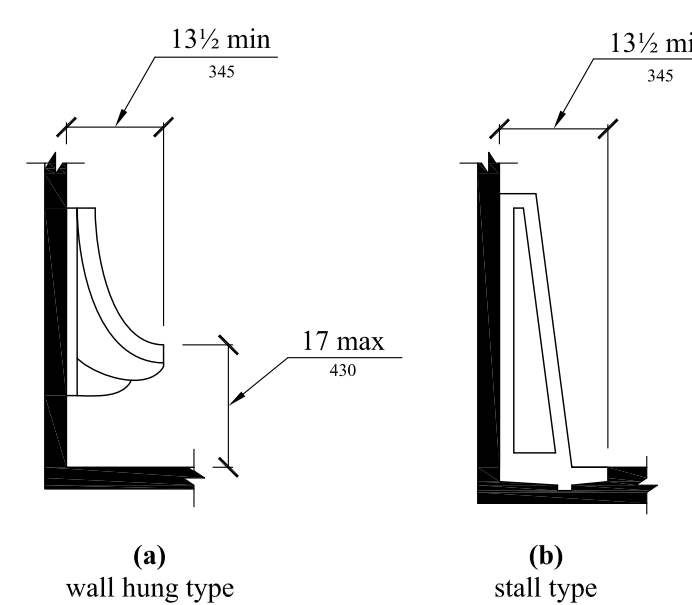


FIGURE 605.2
HEIGHT AND DEPTH OF URINALS

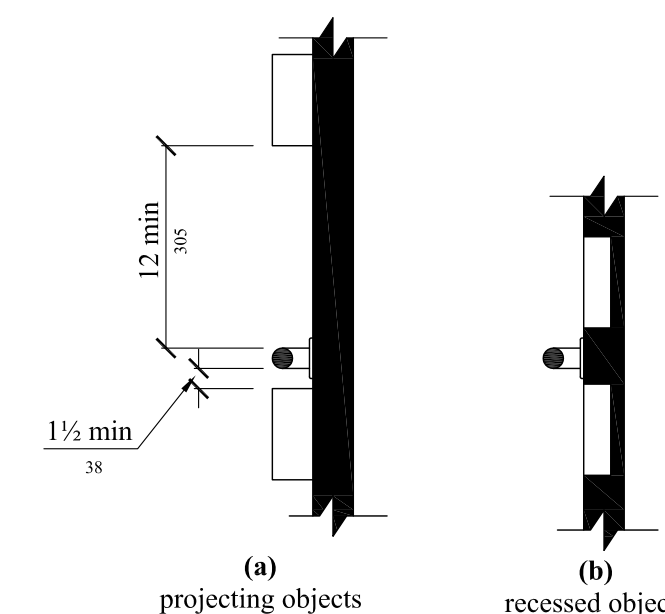


FIGURE 609.3
SPACING OF GRAB BARS

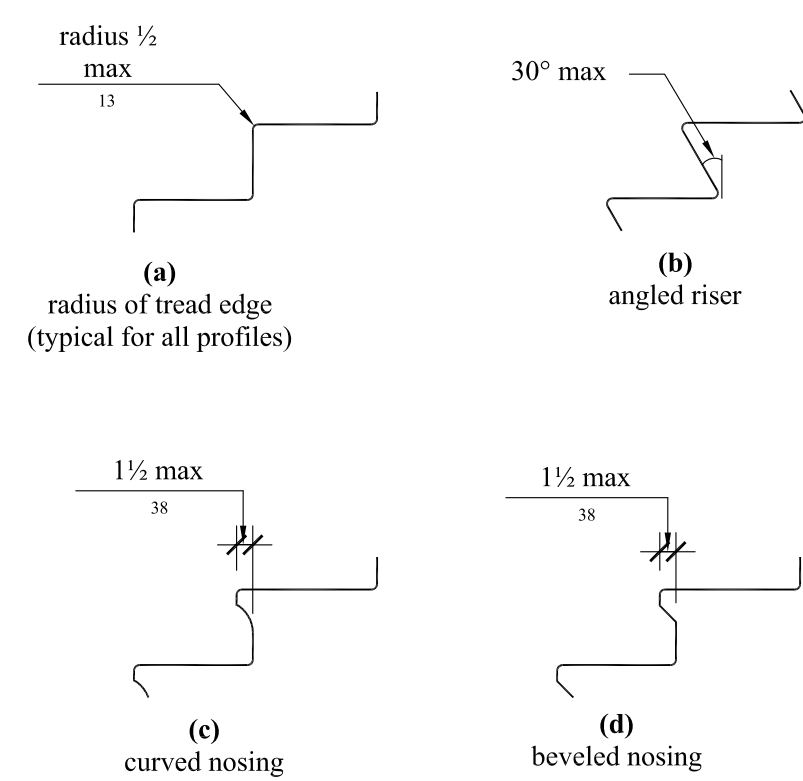


FIGURE 504.5
STAIR NOSING

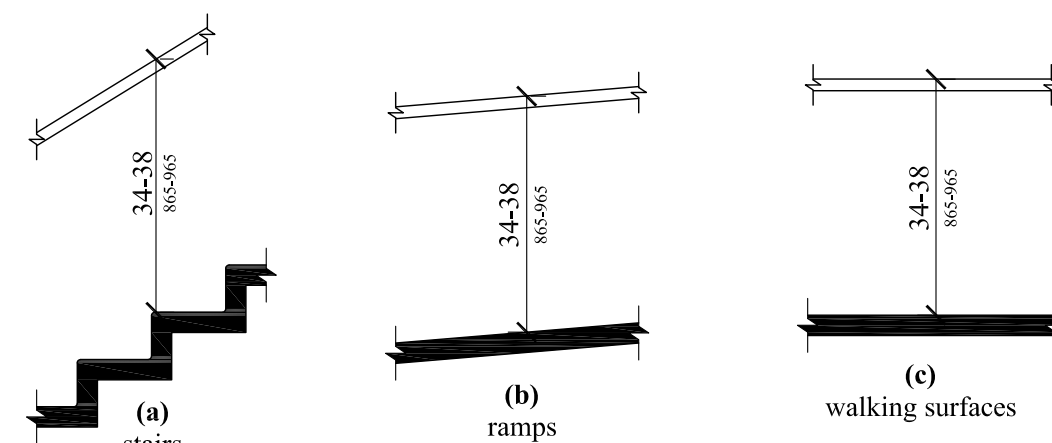


FIGURE 505.4
HANDRAIL HEIGHT

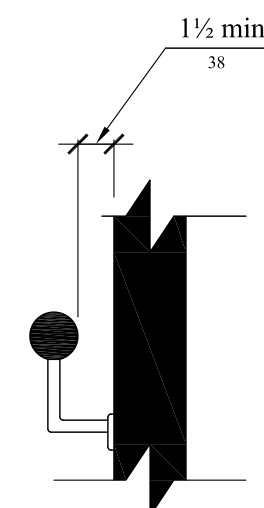


FIGURE 505.5
HANDRAIL CLEARANCE

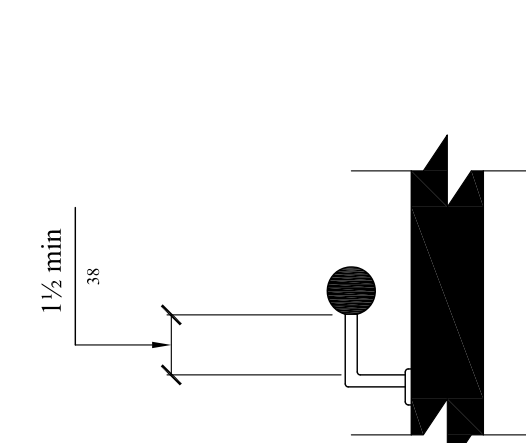


FIGURE 505.6
HORIZONTAL PROJECTIONS
BELOW GRIPPING SURFACE

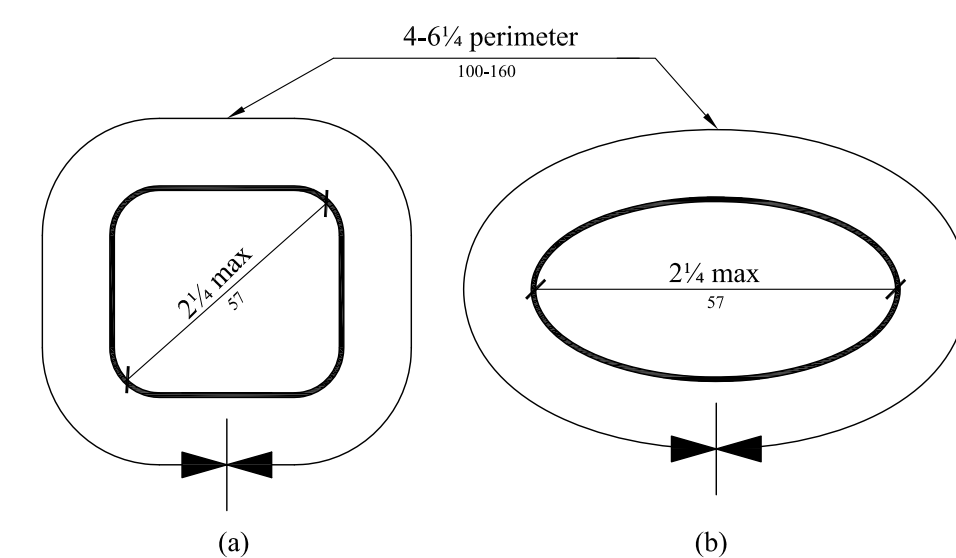


FIGURE 505.7.2
HANDRAIL NON-CIRCULAR CROSS SECTION

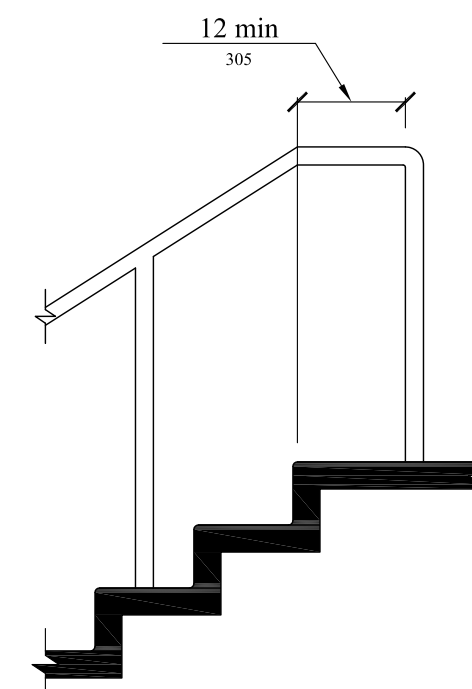


FIGURE 505.10.2
TOP HANDRAIL EXTENSION AT STAIRS

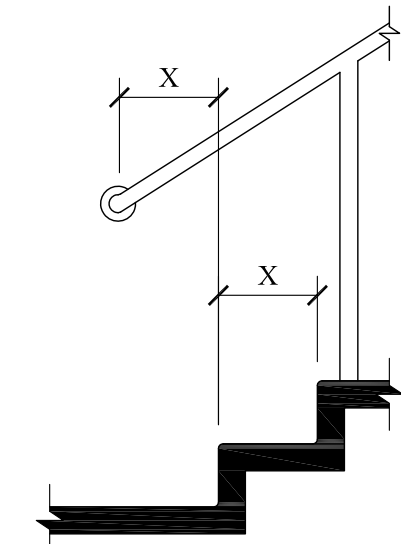


FIGURE 505.10.3
BOTTOM HANDRAIL EXTENSION AT STAIRS

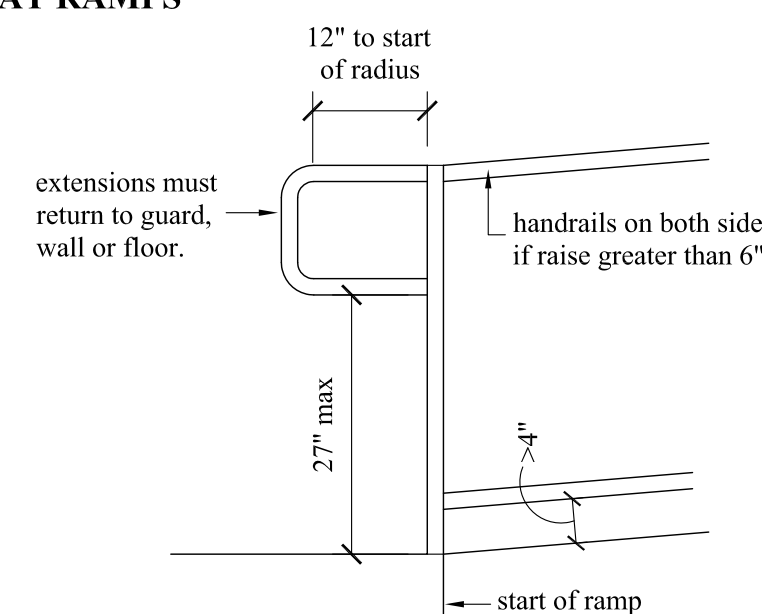
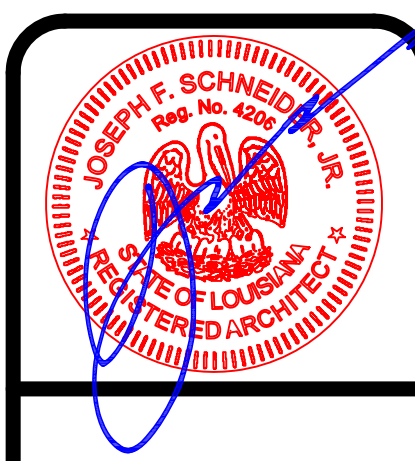


FIGURE 505.10.1
TOP AND BOTTOM HANDRAIL EXTENSION AT RAMP

HANDRAIL EXTENSION AT RAMP

REVISIONS	BY



TYPICAL ADA DETAILS

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Closing Speed (404.2.8)
Closers: 5 sec. min.
from 90° to 12°
(spring hinges: 1.5 sec. min.
from 70° to 0°)

Opening Force (404.2.9)
5 lbf max.
(excluding exterior hinged
doors and fire doors)

**Vision/Side Lights
(if provided) (404.2.11)**
Accessible viewing height
43" max, unless not
intended for viewing
(i.e., lowest part above 66")

Hardware (404.2.7)
Operable parts must comply

Smooth Surface (404.2.10)
Required at bottom on
the push side

Thresholds (404.2.5)
1/2" max. high
(beveled of above 1/4")

**Maneuvering Clearance
(404.2.4)**
required on both sides
(unless door or gate is used in
one direction only)

10" min.
AFF

full width of door

34"-48"
(operable
portions)

43" max

10" max

Mirror (213.3.5)
where provided

Coat Hooks and Shelves (213.3.7)
at least 1 or each type where provided

Dispensers and Receptacles (205)
where provided

Water Closet (213.3.2)

Toilet Paper Dispenser (604.7)

Lavatory (213.3.4)
where provided

Turning Space (603.2.1)
60" diameter circle or T-turn

Urinals (213.3.3)
An accessible urinal is required only in toilet rooms where more than one urinal is provided.

16"-18"

Note: specifying 17" will accommodate construction variation up to 1"

56" min

60" min

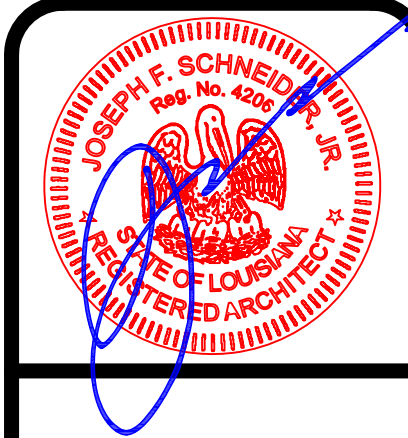
This technical drawing illustrates the required dimensions for a toilet stall. The stall is represented by a grid. A toilet fixture is shown within the stall. The width of the stall is indicated as 16"-18" at the top. A note specifies that specifying 17" will accommodate construction variation up to 1". The depth of the stall is indicated as 56" min on the right side. The distance from the center of the toilet to the side wall is indicated as 60" min at the bottom.

Flush controls must be on the open side and, if hand operated, comply as operable parts

17"-19"
(to top of seat)

Recommendation: Locate flush valves and related plumbing to the side of the water closet or behind walls to keep the rear grab bar clear

If the grab bar is 36" high, a non-recessed toilet paper dispenser location above the bar must have an outlet at exactly 48" high to accommodate both the max. reach and the 12" min clearance above the grab bar.

[illegible]

TYPICAL ADA DETAILS

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