



City of Slidell, Louisiana

Olde Towne Preservation District Commission Agenda



SCAN ME
for the
OTPDC website

January 14, 2026 at 5:00pm

Council Chambers, 2045 2nd St, Slidell, LA

Agenda packet available at myslidell.com/planning/boards/otpdc

For questions or to provide public comment before the meeting,
email OTPDC@cityofslidell.org or call (985) 646-4320 (M-F 8am to 4:30pm)

- Please silence all phones and electronic devices.
- For all Appeals, fees apply per Appendix F of the City of Slidell Municipal Code.
- All Speakers must sign in at the podium before speaking on any issue.
- Public Speaking – 5 minutes is allowed per each side and 3 minutes for additional comments.
- Please exit the building immediately after the conclusion of the meeting.

1. **Call to Order and Roll Call**
2. **Minutes.** Review and approve minutes from December 10, 2025
3. **Public Hearings**
 - a. **CA2025-0029:** A request for a Certificate of Appropriateness for exterior improvements to include new ADA parking, ADA ramp, primary entrance door, and trash enclosure at 1928 Sgt Alfred Drive.
4. **Other Business**
5. **Informational Items**
6. **General and Public Comments**
7. **Adjournment**

The next Olde Towne Preservation District Commission meeting will be February 11, 2026.



City of Slidell, Louisiana

Olde Towne Preservation District Commission Minutes

December 10, 2025 at 5:00 pm

City of Slidell Planning Dept. Conference Room-250 Bouscaren Street, Suite 203, Slidell, LA

1. Call to Order and Roll Call. Meeting called to order by Chair Clayton at 5:00 p.m.

Commissioners Present	Commissioners Not Present	Staff Present
Jason Clayton, Chair	Jordan Granier, Vice Chair	Daniel McElmurray, Planning Director
Michelle Cramer	Jodi Stamps	Erica Smith, Planning Secretary
Laura Scariano		

2. Minutes. Motion by Commissioner Cramer to approve minutes of August 13, 2025 as written; Commissioner Scariano seconded. A vote of 3 YAYS, 0 NAYS, 0 ABSTAIN approved the minutes.

3. Public Hearings

a. There were no public hearings for this meeting.

4. Other Business

a. Meeting Policies.

Director McElmurray addressed the Commission regarding the need for Rules of Order to be followed at each meeting. Chair Clayton made a motion to adopt the Rules of Order. Commissioner Cramer seconded. A vote of 3 YAYS, 0 NAYS, 0 ABSTAIN adopted the Rules of Order.

b. Election of Officers for 2026

Commissioner Cramer nominated Jason Clayton for Chair and Laura Scariano for Vice Chair of the OTPDC for 2026. Commissioner Scariano seconded the nomination of Jason Clayton for Chair and Chair Clayton seconded the nomination of Commissioner Scariano for Vice Chair. Jason Clayton was elected Chair and Laura Scariano was elected Vice Chair of the OTPDC by a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN.

c. Adoption of the 2026 Meeting Calendar

Director McElmurray presented the Commission with the 2026 Meeting Calendar. Chair Clayton made a motion to adopt the 2026 Meeting Calendar. Commissioner Scariano seconded. The 2026 Meeting Calendar was adopted with a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN

5. Informational Items

a. Unified Development Code Update

Director McElmurray provided the Commission with an update of the UDC with discussion.

b. Continuing Education

Commissioner Cramer recommended to the Commission that they attend the State Preservation Meeting in Hammond, LA March 26-27, 2026 to accrue continuing education hours.

6. General and Public Comments. There were none.

7. Adjournment. Meeting adjourned at 5:31 p.m. on motion by Chair Clayton, seconded by Commissioner Scariano, and a vote of 3 YAYS, 0 NAYS, 0 ABSTAIN.



Staff Report

Case No. CA2025-0029

Certificate of Appropriateness for Exterior Changes at
1928 Sgt Alfred Drive

Planning Department

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1928 Sgt Alfred Dr (**Figure 1**)

Historic Status: Contributing historic structure within the OTPD (Circa 1925) (LHRI: 52-00183)

Owner: 1928 Sergeant Alfred Drive LLC

Applicant: Joe Schneider, Architect

Zoning: C-2 Neighborhood Commercial/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for Exterior Changes (see Findings for complete details)

OTPDC Meeting: 1/14/2026

STAFF RECOMMENDATION

Approval

SCOPE OF WORK

1. 1928 Sgt Alfred Drive is developed with a Single-Use building (**Figure 2**).
2. It was built (circa 1925) as a single-family home that has been converted into a commercial building.
3. The applicant proposes to improve the building to meet ADA standards for its new proposed use for physical therapy. (**Figure 3**).
4. The proposed changes as shown in **Figures 3a-3d** include:
 - a) Remove the existing wood front entrance to replace with ADA compliant clearance entrance. Exact same material and design of existing door (including any replacement trim).
 - b) Construction of an ADA compliant ramp with wood ramp with wood detailing and metal balusters, connecting the ADA Parking in the rear of the building along the side of the building to the front entrance. This work will include the required striping of the concrete.
 - c) New concrete work to construct one ADA compliant parking space with a striped loading area for handicap at the rear of the access driveway behind the building.
 - d) Removing the rear stairs, and railing at rear of the building to avoid conflict with the new ADA parking. Door will remain.
 - e) 4'x5'x4' wood fence with 36" wood gate waste can enclosure in the rear yard (not visible from the street).
5. The proposed changes will not impact or significantly change the appearance and use of the building. See **Figure 4** for complete set of plans as submitted.

STANDARDS FOR REVIEW

6. This request is for exterior alteration to create an ADA Compliant structure. It is reviewed against the standards of the general design guidelines of Sec. 2-2217 *Design guidelines for Olde Towne and Fremaux Corridor* of Appendix A *Zoning* of the City of Slidell Code of Ordinances. The following factors are considered in this request for a Certificate of Appropriateness:
 - a. *New Entrance Door*. The new entrance door located at the front of the building will be the same design as the existing with natural finish, wider to comply with ADA regulations.
 - b. *ADA Ramp and Parking*. The addition of the ramp and parking will not detract from any contributing factors of the structure and allows for compliance with ADA regulations.
 - c. *Materials*. The proposed materials for the new entrance door, ramp, and waste can enclosure have historic context and are appropriate materials.

FINDINGS

7. The proposed improvements are consistent with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location Aerial (STP Assessor Map)



Figure 2. Street View (Google)



Figure 3.a. New Entrance

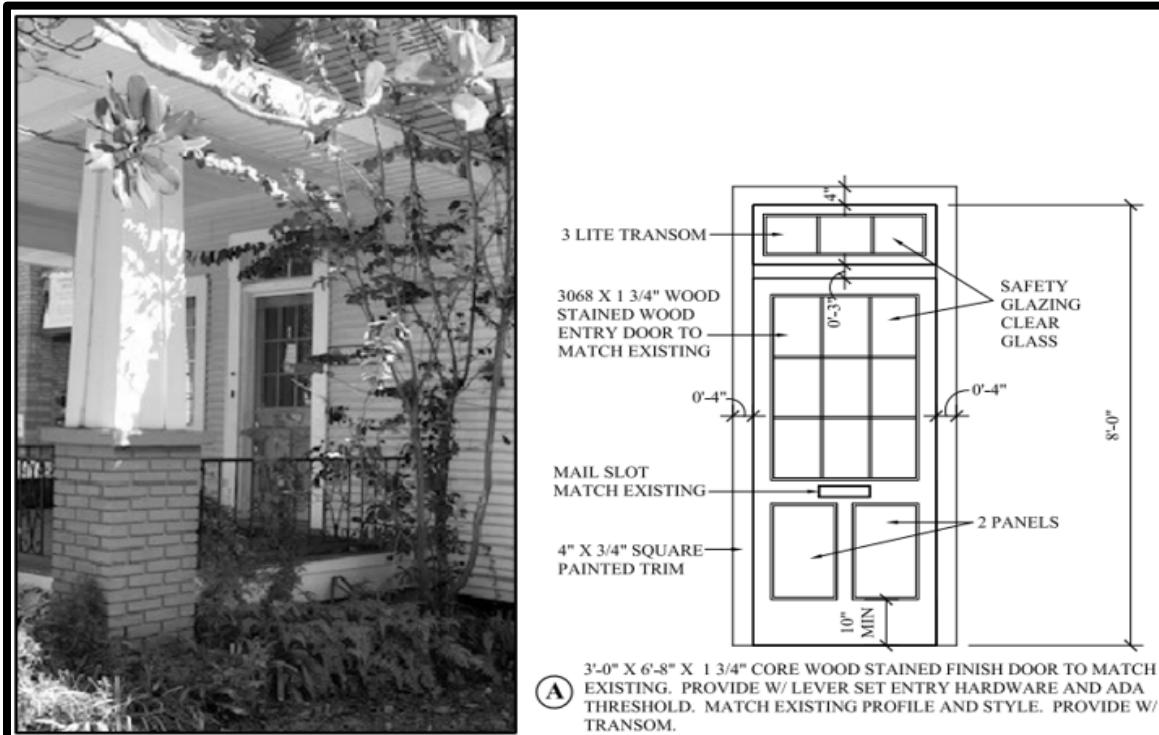


Figure 3.b. ADA Ramp and Parking

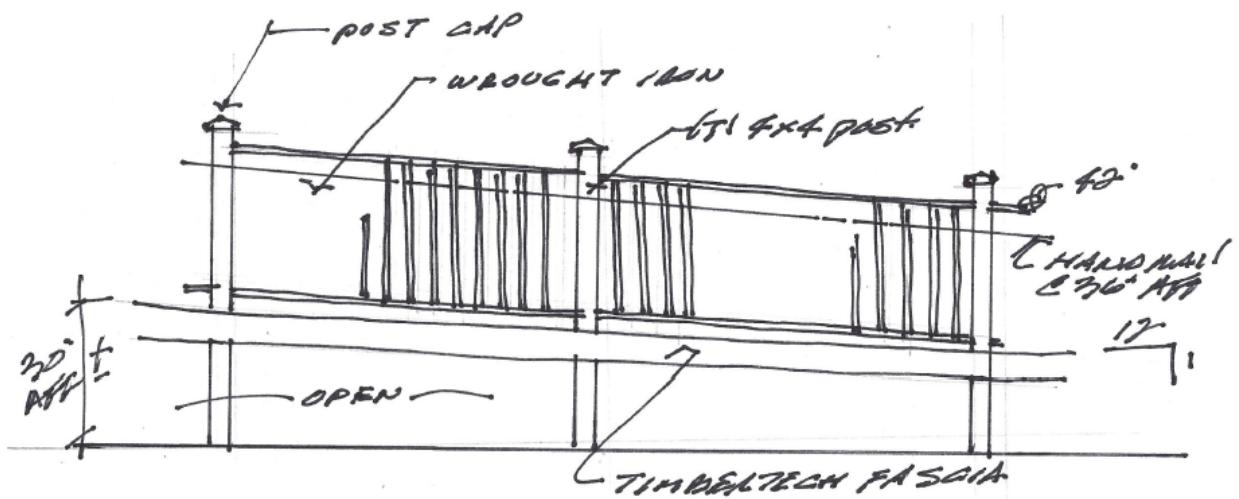


Figure 3.c. ADA Parking

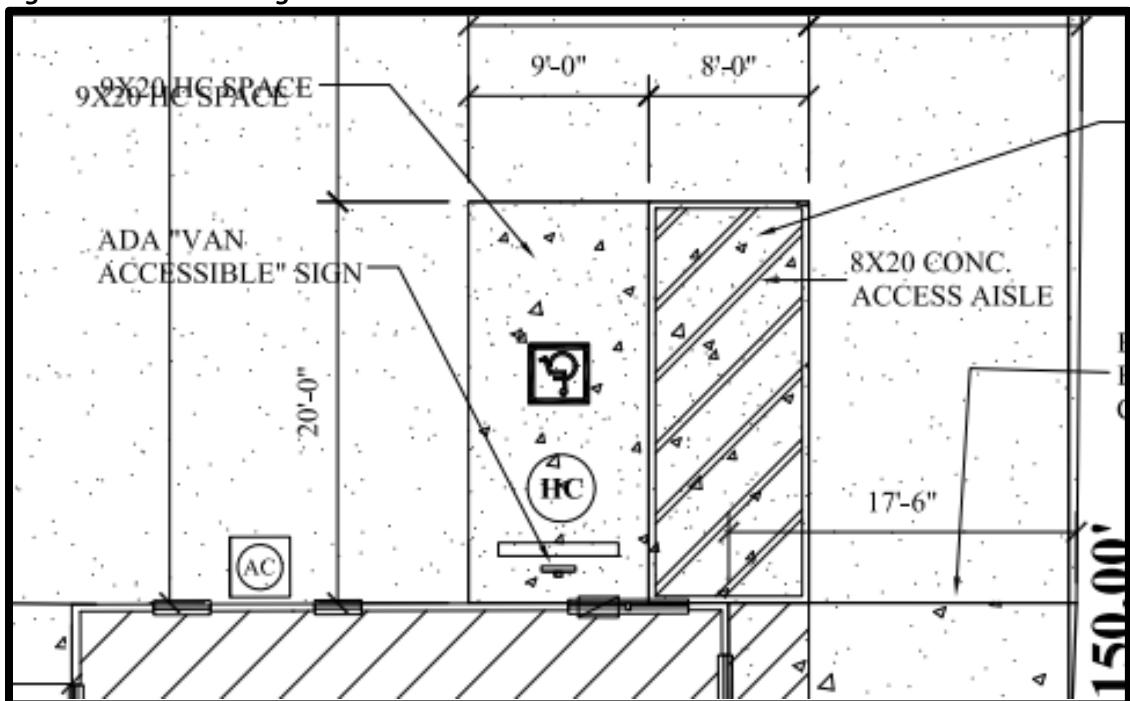


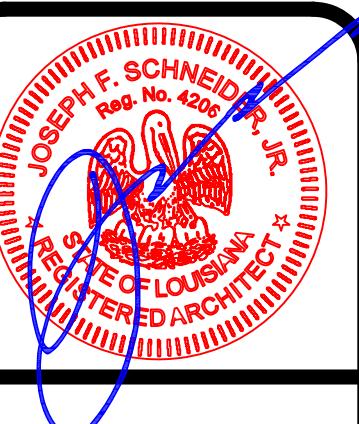
Figure 3.d. Removal of rear steps and railing



Figure 4. Construction plans as submitted.

See following pages

REVISIONS	BY



INTERIOR RENOVATIONS
LESS 50% LEVEL 2 FOR
MEDICAL REHAB CENTER
1928 SERGEANT ALFRED STREET
SLIDELL, LOUISIANA 70458

JOSEPH F. SCHNEIDER JR., AIA

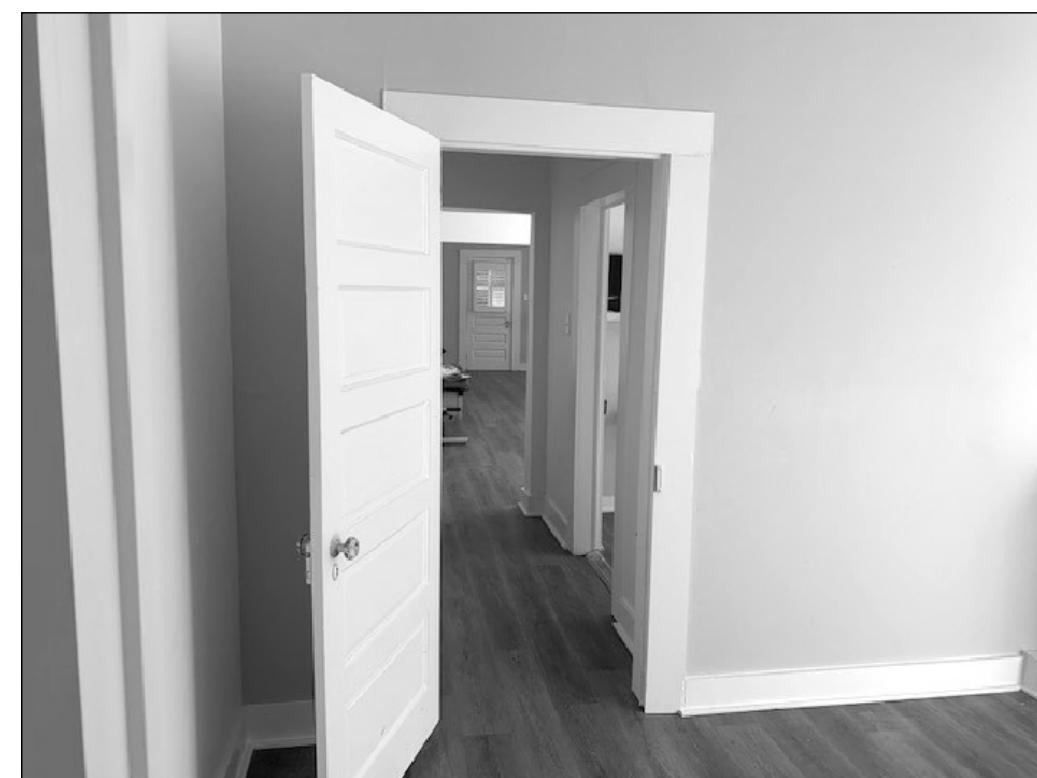
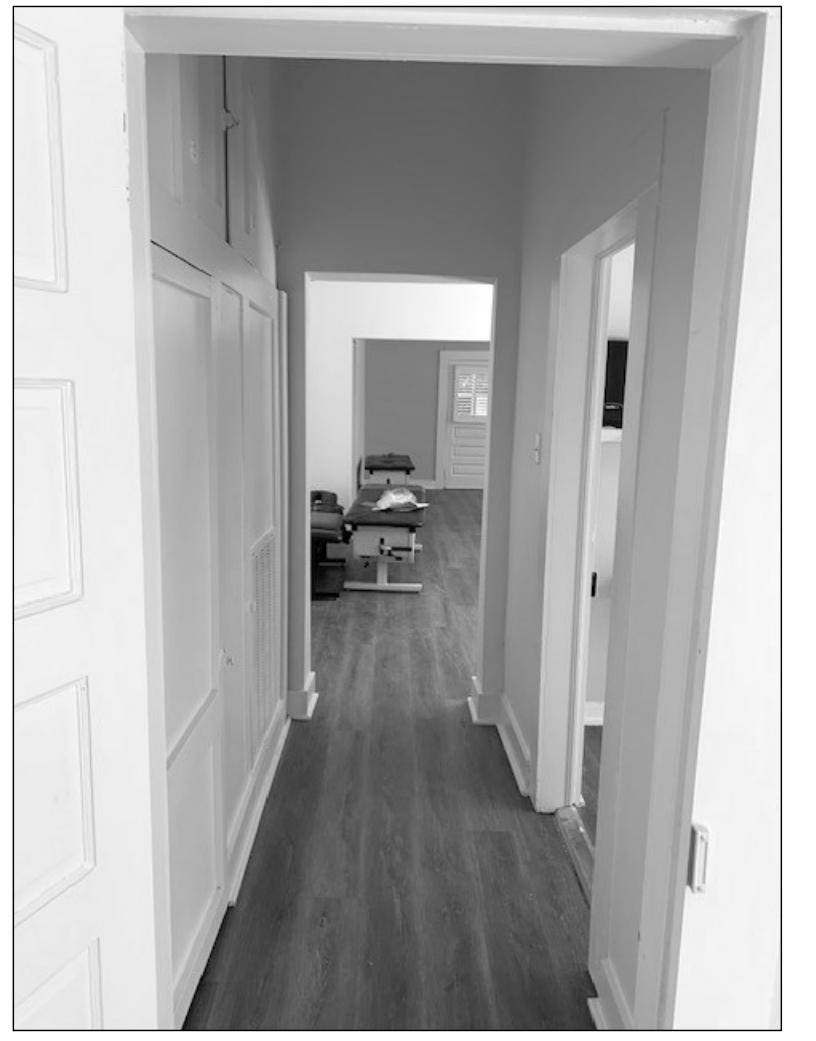
ARCHITECT

LA #4206 MS #020 AL #8724 FL #AR95008 TX #24294

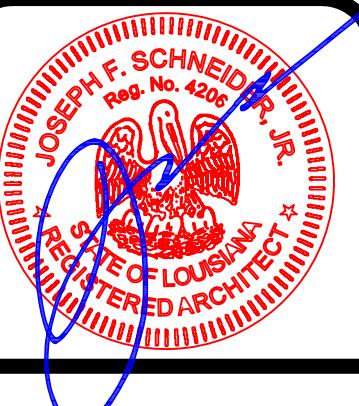
105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460
(985) 847-0714 jfsarchitec@charter.net

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DATE	11/12/2025
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JOB NO.	

PH-1
OF **1** SHEETS



EXISTING SITE PHOTOGRAPHS



**INTERIOR RENOVATIONS
MEDICAL REHAB
928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458**

JOSEPH F. SCHNEIDER JR., AIA ARCHITECT

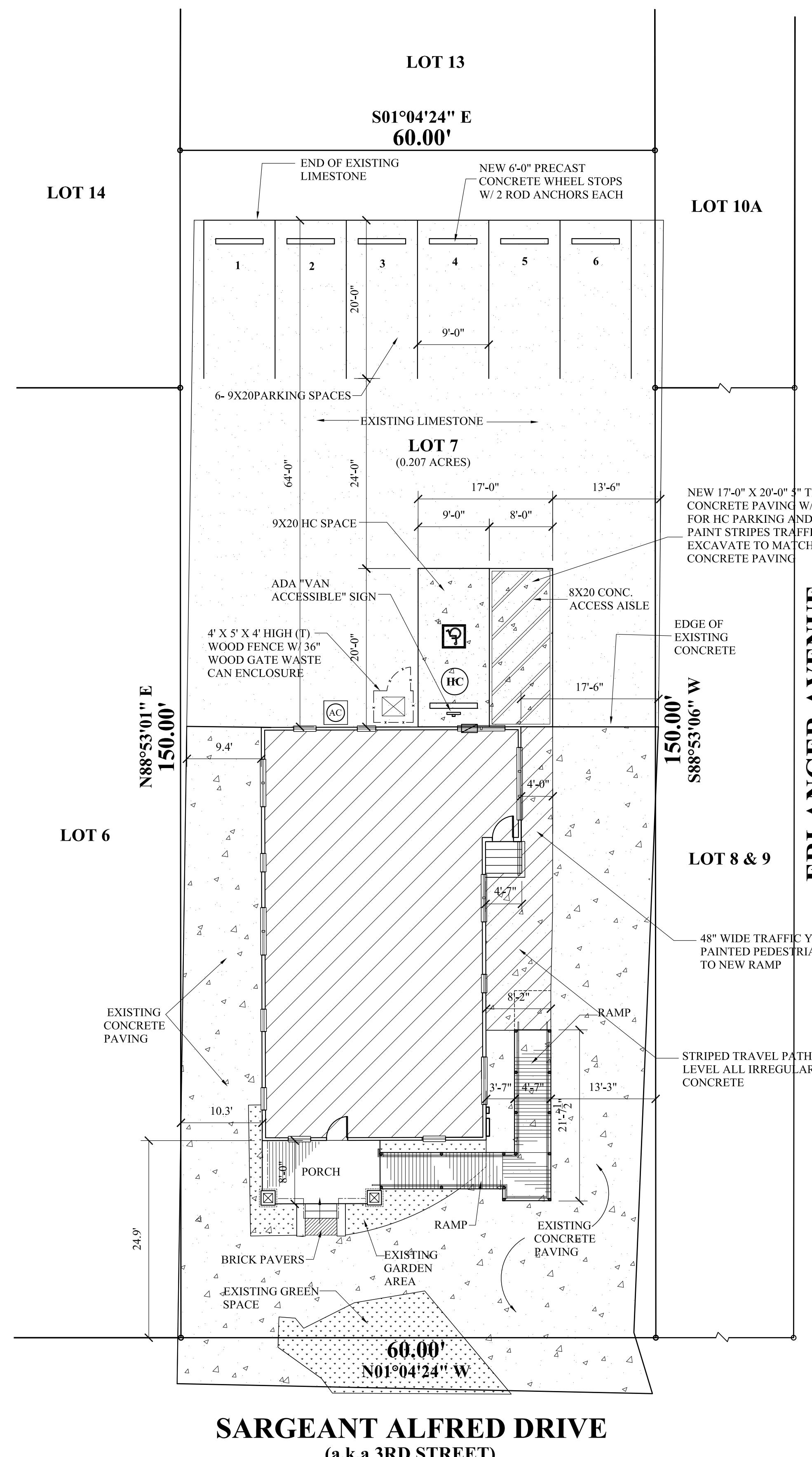
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J. SCHNEIDER
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12/02/2025
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REVIEWS

SITE PLAN-

SCALE: 1" = 10'-0"

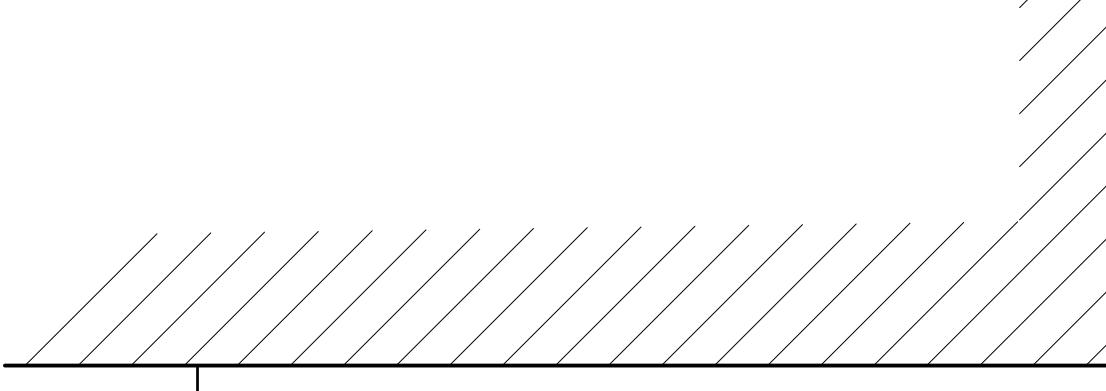


S-1

ERLANGER AVENUE

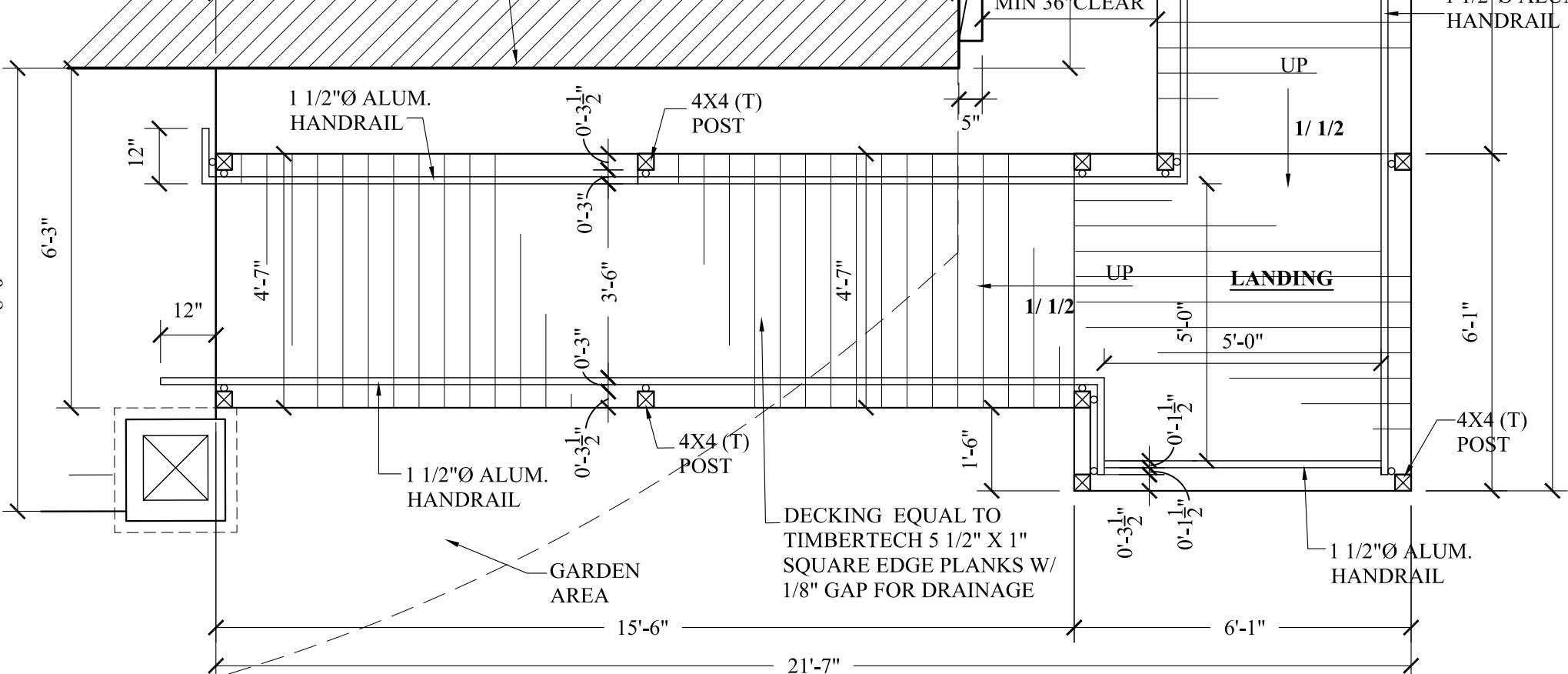
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SCALE: 3/8"=1-0"



RAMP LAYOUT

SCALE: 3/8"=1-0"

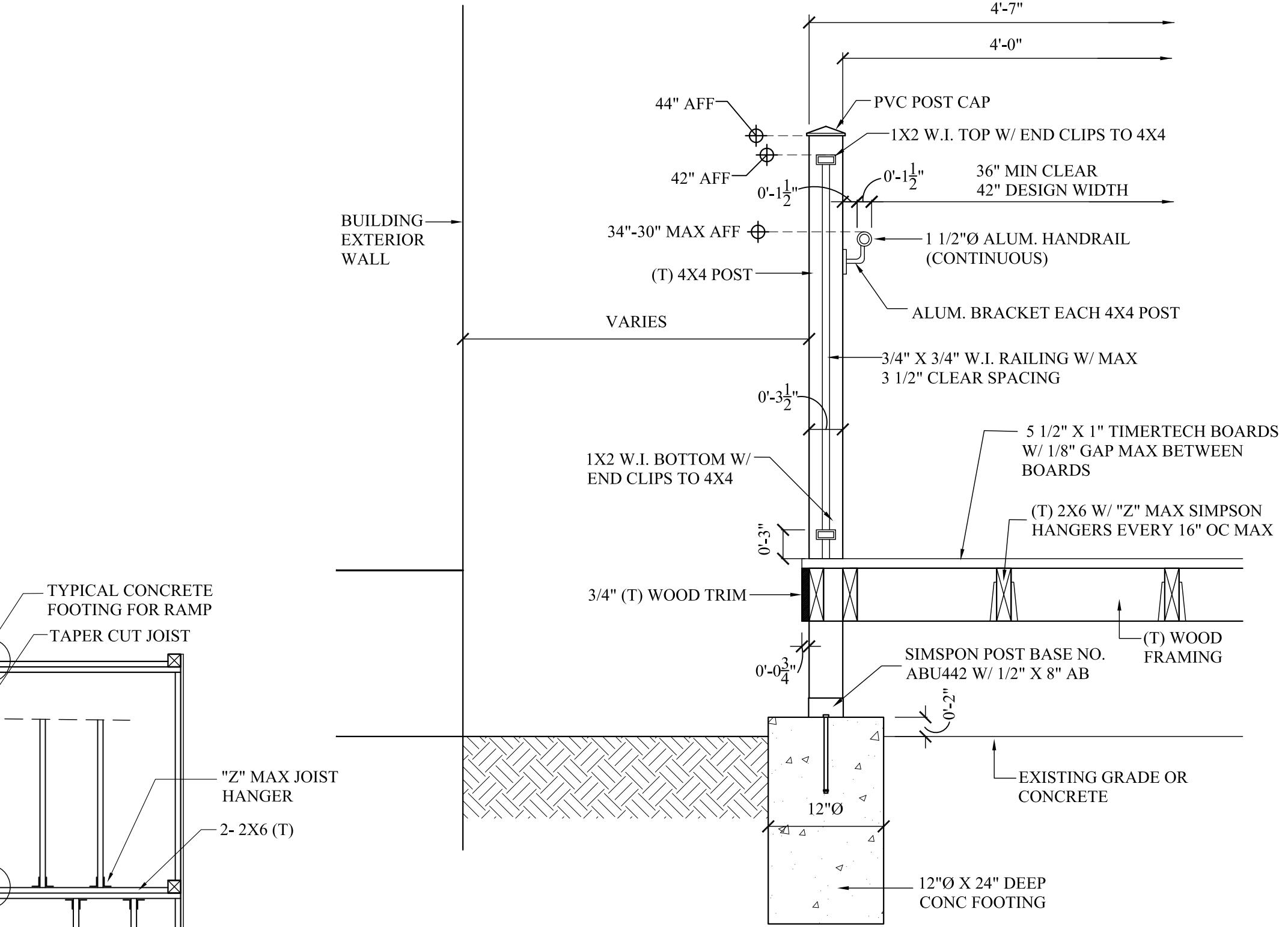


← (T) 3/4" TRIM BOARD

DETAIL- RAMP- LANDING SIMILAR

SCALE: 1"=1-0"

SCA



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REVISIONS	BY



INTERIOR RENOVATIONS
MEDICAL REHAB
1928 SERGEANT ALFRED DRIVE
SLIDELL, LOUISIANA 70458

JOSEPH F. SCHNEIDER JR., AIA

ARCHITECT

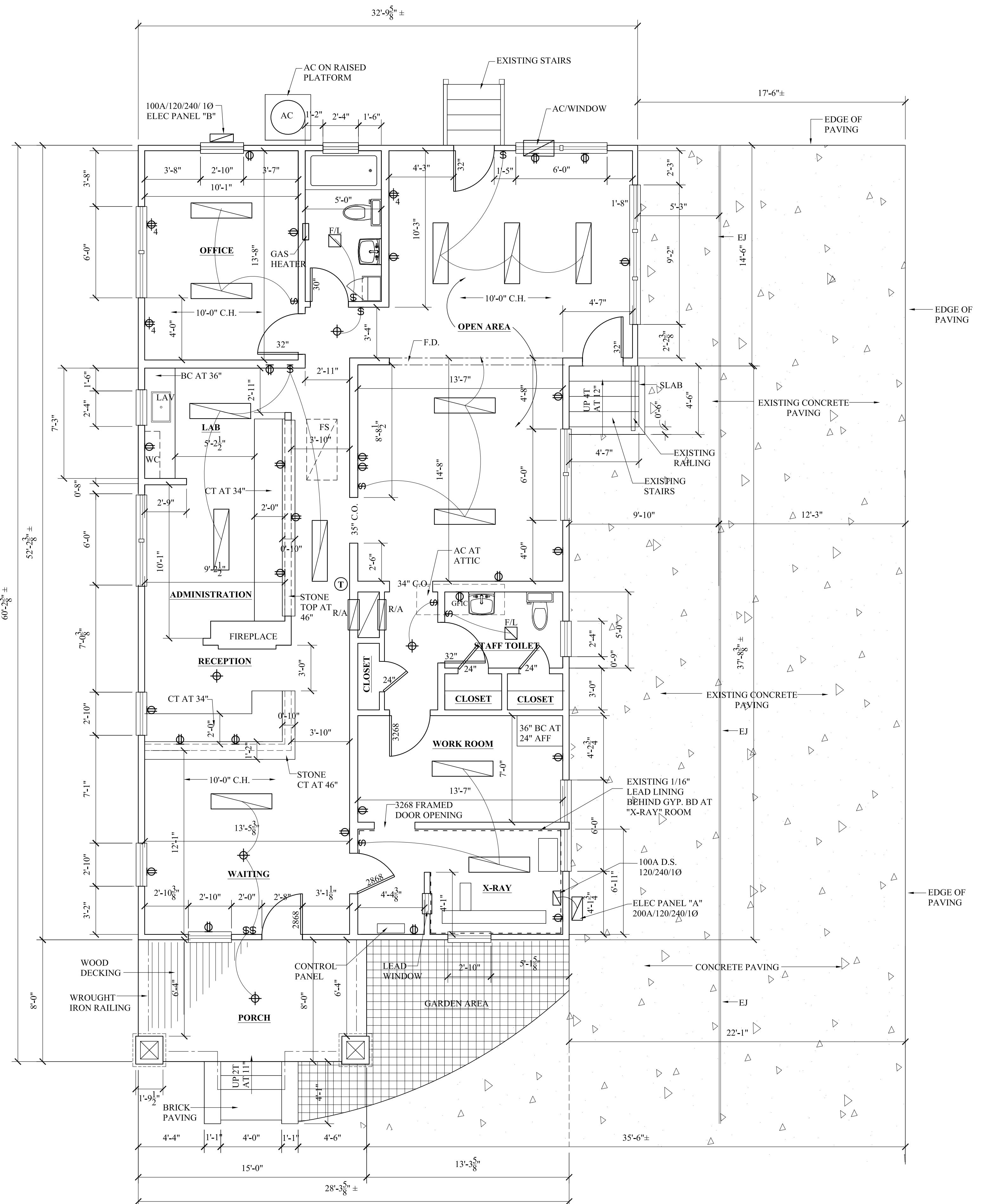
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105 EVANGELINE DRIVE, SLIDELL, LOUISIANA 70460

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A-1 SHEETS



A-1

ELECTRICAL CONSTRUCTION NOTES:

- ① EXISTING WALL 220V/10/30A WALL RECEPTACLE LOCATIONS TO REMAIN. REMOVE EXISTING NON-SHEATHED ROMEX WIRING FROM RECEPTACLES TO PANEL. REPLACE WITH METALLIC SHEATHED FLEXIBLE "HCF-MCAP" CONDUCTOR FROM RECEPTACLE TO EXISTING PANEL CIRCUITS.

NOTES: (X-RAY AND REHAB AREAS ONLY)

1. METAL CLAD CABLE EQUAL TO COPPER "THHN" "HCF-MCAP" HOSPITAL CARE FACILITY INSULATED CONDUCTORS AND GREEN INSULATED GROUND CONDUCTOR WITH FILL SIZED ALUMINUM EQUIPMENT GROUNDING/ BONDING CONDUCTOR UL-83, 1569 AND 1063 RATED, METAL-CLAD CABLE.
2. ALL INSTALLATION SHALL CONFORM TO 2020 NEC ARTICLES 517 AND 330.
3. ALL WORK SHALL COMPLY WITH NFPA 70, ARTICLE 330.
4. ELECTRICAL CODE BASED ON LOUISIANA ELECTRICAL CODE 2020 EDITION- ADOPTED WITH NFPA 70, 2020 AMENDED.

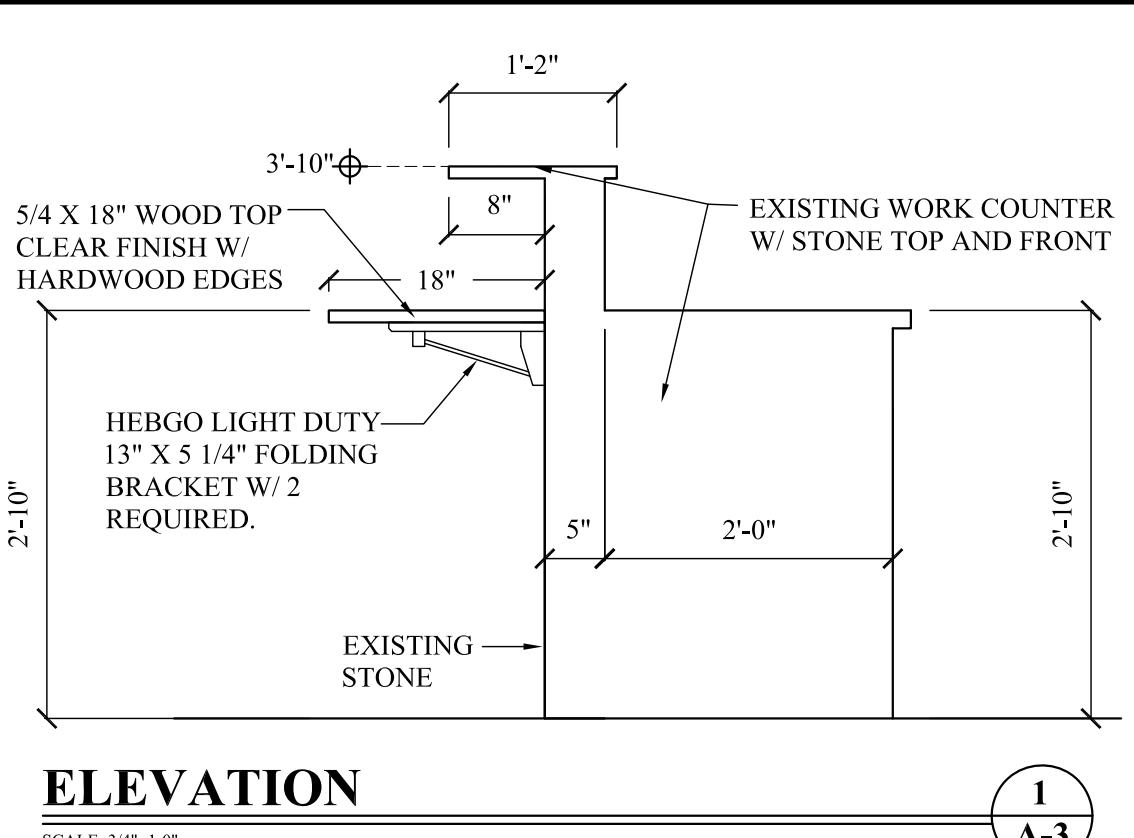
NOTE:

WIRING IN ALL PATIENT CARE AREAS, AND FUTURE PATIENT AREAS SHALL COMPLY WITH NEC 2020 517.13(A) AND (B). ALSO APPLIES FOR COMPLIANT REDUNDANT EQUIPMENT GROUNDING AT ALL RECEPTACLES AT PATIENT CARE AREAS AND AT ALL HARDWIRED MEDICAL EQUIPMENT CONNECTIONS.

(A) ALL BRANCH CIRCUITS SERVING PATIENT CARE AREAS SHALL BE PROVIDING WITH A GROUND PATH FOR FAULT CURRENT BY INSTALLATION IN A METAL RACEWAY SYSTEM, OR A CABLE ARMOR OR SHEATH ASSEMBLY. THE METAL RACEWAY SYSTEM, OR CABLE ARMOR, OR SHEATH ASSEMBLY, TYPE AC, MC, TYPE MI CABLES SHALL AN OUTER METAL ARMOR OR SHEATH THAT IS IDENTIFIED AS AN ACCEPTABLE GROUNDING RETURN PATH.

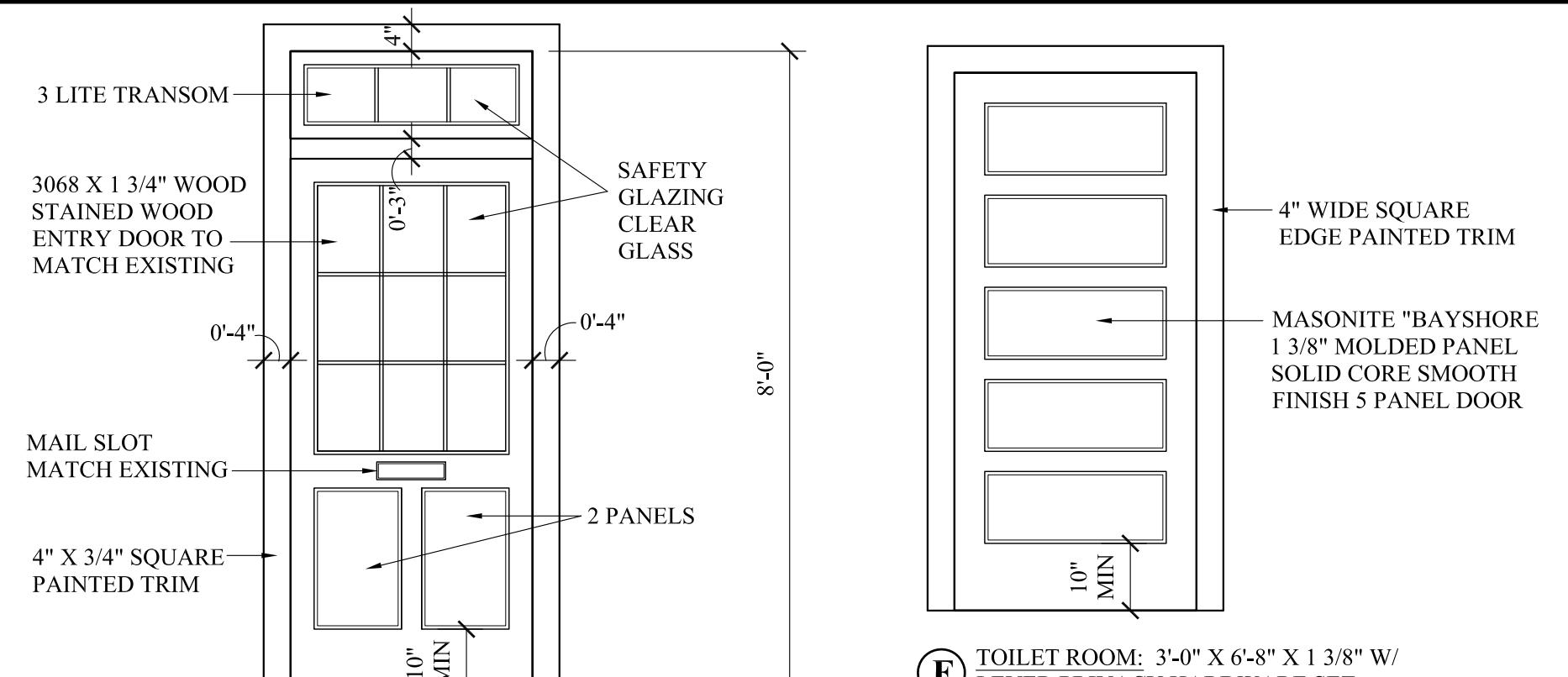
(B) IN AN AREA USED FOR PATIENT CARE, THE GROUNDING TERMINALS OF ALL RECEPTACLES AND NON-CURRENT-CARRYING CONDUCTIVE SURFACES OF FIXED ELECTRIC EQUIPMENT LIKELY TO BECOME ENERGIZED THAT ARE SUBJECT TO PERSONAL CONTACT, OPERATING AT OVER 100 VOLTS, SHALL BE GROUNDED BY AN INSULATED COPPER CONDUCTOR. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250.122 AND INSTALLED IN METAL RACEWAYS OR METAL-CLAD CABLES WITH THE BRANCH-CIRCUIT CONDUCTORS SUPPLYING THESE RECEPTACLES OR FIXED EQUIPMENT.

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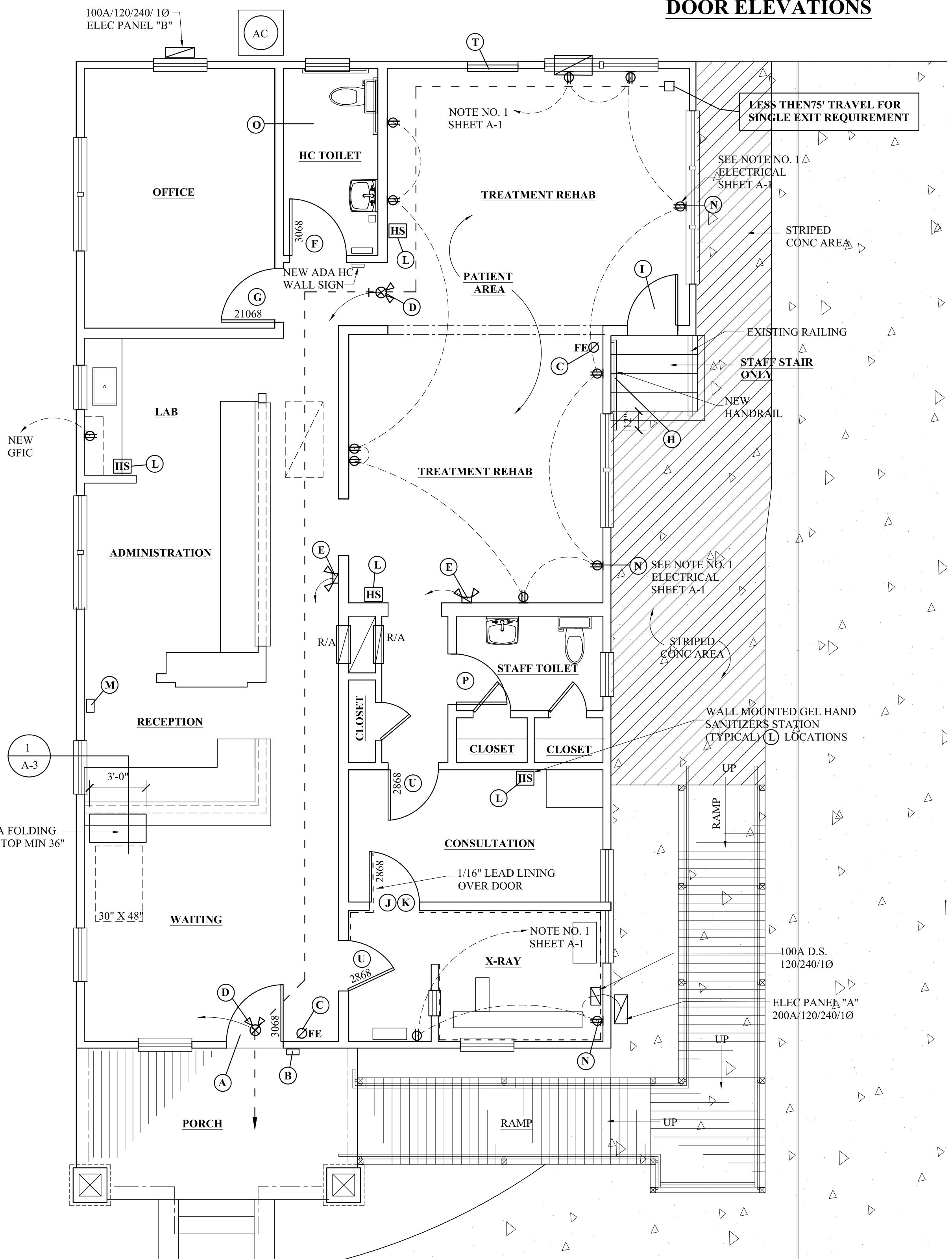


ELEVATION

SCALE 2 (4)

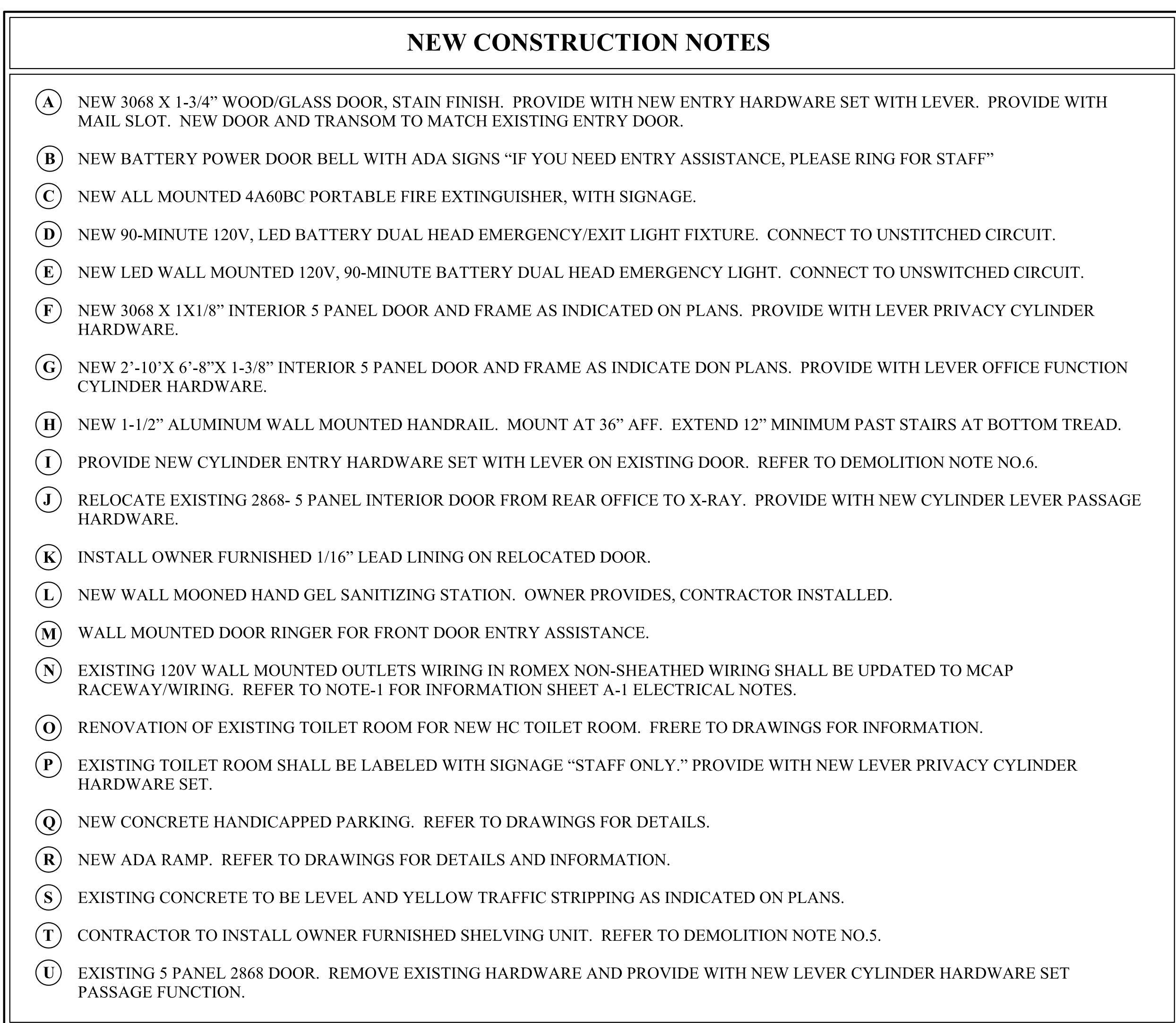


DOOR ELEVATIONS



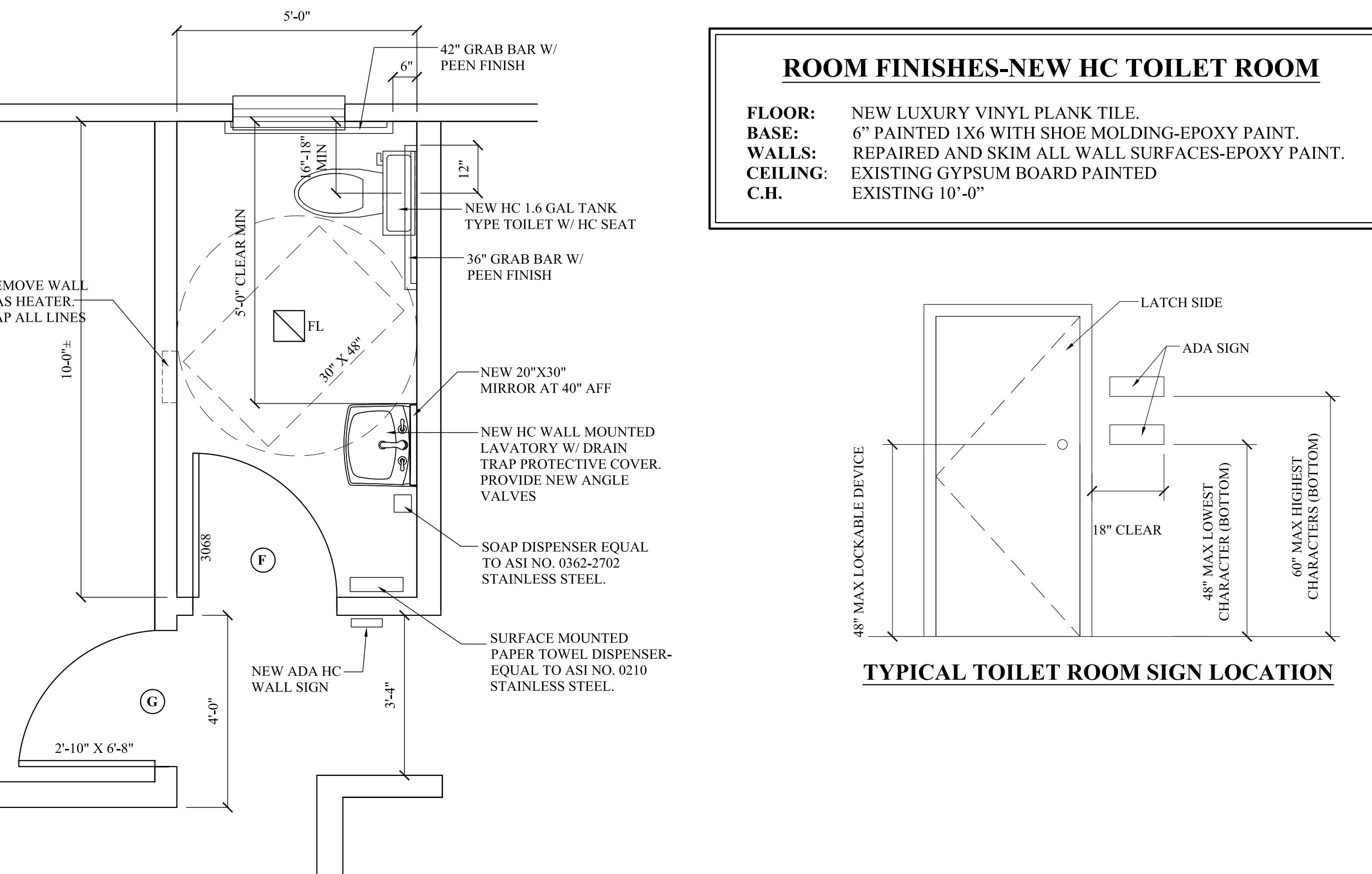
FLOOR PLAN - NEW WORK

SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION NOTES

- (A) NEW 3068 X 1-3/4" WOOD/GLASS DOOR, STAIN FINISH. PROVIDE WITH NEW ENTRY HARDWARE SET WITH LEVER. PROVIDE WITH MAIL SLOT. NEW DOOR AND TRANSOM TO MATCH EXISTING ENTRY DOOR.
 - (B) NEW BATTERY POWER DOOR BELL WITH ADA SIGNS "IF YOU NEED ENTRY ASSISTANCE, PLEASE RING FOR STAFF"
 - (C) NEW ALL MOUNTED 4A60BC PORTABLE FIRE EXTINGUISHER, WITH SIGNAGE.
 - (D) NEW 90-MINUTE 120V, LED BATTERY DUAL HEAD EMERGENCY/EXIT LIGHT FIXTURE. CONNECT TO UNSTITCHED CIRCUIT.
 - (E) NEW LED WALL MOUNTED 120V, 90-MINUTE BATTERY DUAL HEAD EMERGENCY LIGHT. CONNECT TO UNSWITCHED CIRCUIT.
 - (F) NEW 3068 X 1X1/8" INTERIOR 5 PANEL DOOR AND FRAME AS INDICATED ON PLANS. PROVIDE WITH LEVER PRIVACY CYLINDER HARDWARE.
 - (G) NEW 2'-10"X 6'-8"X 1-3/8" INTERIOR 5 PANEL DOOR AND FRAME AS INDICATE DON PLANS. PROVIDE WITH LEVER OFFICE FUNCTION CYLINDER HARDWARE.
 - (H) NEW 1-1/2" ALUMINUM WALL MOUNTED HANDRAIL. MOUNT AT 36" AFF. EXTEND 12" MINIMUM PAST STAIRS AT BOTTOM TREAD.
 - (I) PROVIDE NEW CYLINDER ENTRY HARDWARE SET WITH LEVER ON EXISTING DOOR. REFER TO DEMOLITION NOTE NO.6.
 - (J) RELOCATE EXISTING 2868- 5 PANEL INTERIOR DOOR FROM REAR OFFICE TO X-RAY. PROVIDE WITH NEW CYLINDER LEVER PASSAGE HARDWARE.
 - (K) INSTALL OWNER FURNISHED 1/16" LEAD LINING ON RELOCATED DOOR.
 - (L) NEW WALL MOONED HAND GEL SANITIZING STATION. OWNER PROVIDES, CONTRACTOR INSTALLED.
 - (M) WALL MOUNTED DOOR RINGER FOR FRONT DOOR ENTRY ASSISTANCE.
 - (N) EXISTING 120V WALL MOUNTED OUTLETS WIRING IN ROMEX NON-SHEATHED WIRING SHALL BE UPDATED TO MCAP RACEWAY/WIRING. REFER TO NOTE-1 FOR INFORMATION SHEET A-1 ELECTRICAL NOTES.
 - (O) RENOVATION OF EXISTING TOILET ROOM FOR NEW HC TOILET ROOM. FRERE TO DRAWINGS FOR INFORMATION.
 - (P) EXISTING TOILET ROOM SHALL BE LABELED WITH SIGNAGE "STAFF ONLY." PROVIDE WITH NEW LEVER PRIVACY CYLINDER HARDWARE SET.
 - (Q) NEW CONCRETE HANDICAPPED PARKING. REFER TO DRAWINGS FOR DETAILS.
 - (R) NEW ADA RAMP. REFER TO DRAWINGS FOR DETAILS AND INFORMATION.
 - (S) EXISTING CONCRETE TO BE LEVEL AND YELLOW TRAFFIC STRIPPING AS INDICATED ON PLANS.
 - (T) CONTRACTOR TO INSTALL OWNER FURNISHED SHELVING UNIT. REFER TO DEMOLITION NOTE NO.5.
 - (U) EXISTING 5 PANEL 2868 DOOR. REMOVE EXISTING HARDWARE AND PROVIDE WITH NEW LEVER CYLINDER HARDWARE SET PASSAGE FUNCTION.



TYPICAL TOILET ROOM SIGN LOCATION

FLOOR: NEW LUXURY VINYL PLANK TILE.
BASE: 6" PAINTED 1X6 WITH SHOE MOLDING-EPOXY PAINT.
WALLS: REPAIRED AND SKIM ALL WALL SURFACES-EPOXY PAINT
CEILING: EXISTING GYPSUM BOARD PAINTED
C.H. EXISTING 10'-0"

FLOOR PLAN - HC TOILET ROOM

SCALE: 1/2" = 1'-0"

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ANDREW CAT

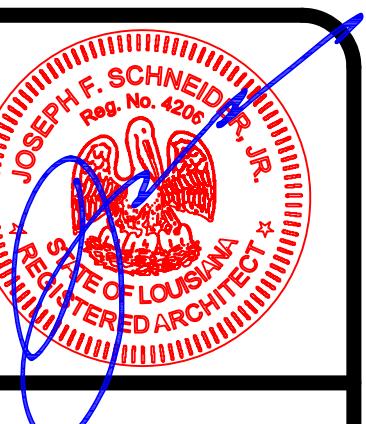
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TYPICAL ADA DETAILS

JOSEPH F. SCHNEIDER JR., AIA

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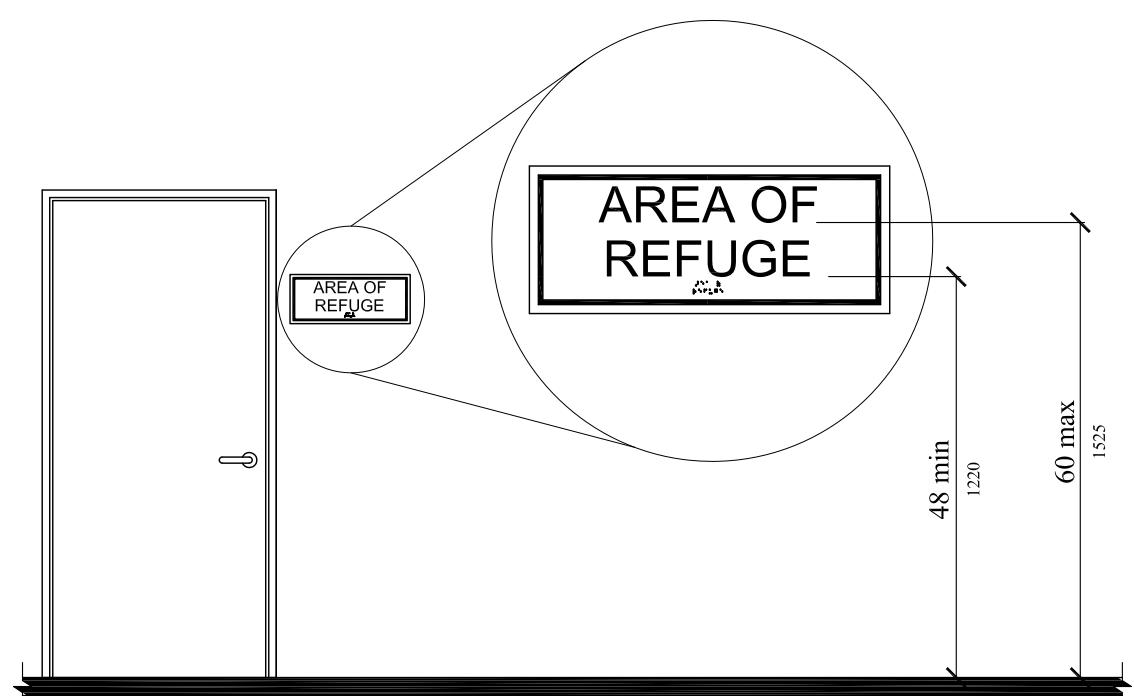


FIGURE 703.4.1
HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

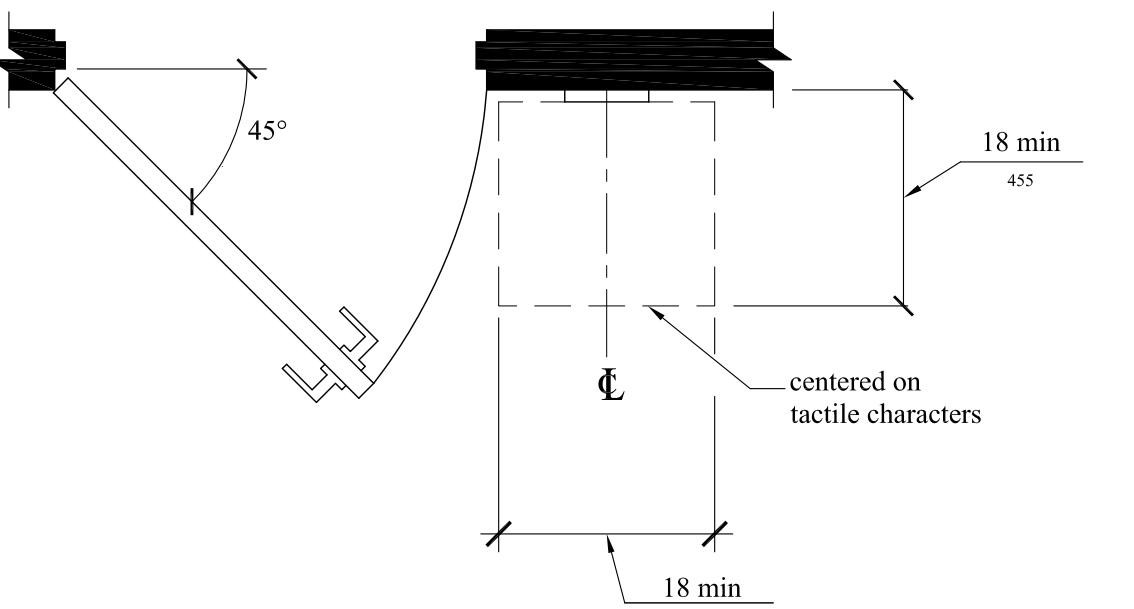


FIGURE 703.4.2
LOCATION OF TACTILE SIGNS AT DOOR

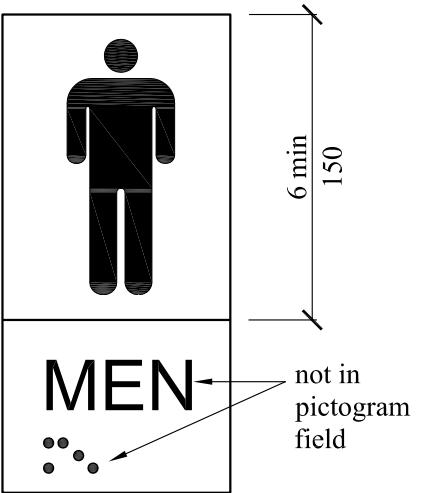


FIGURE 703.6.1
PICTOGRAM FIELD

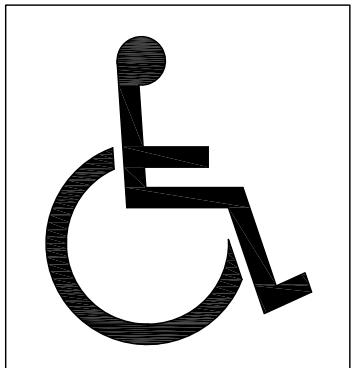
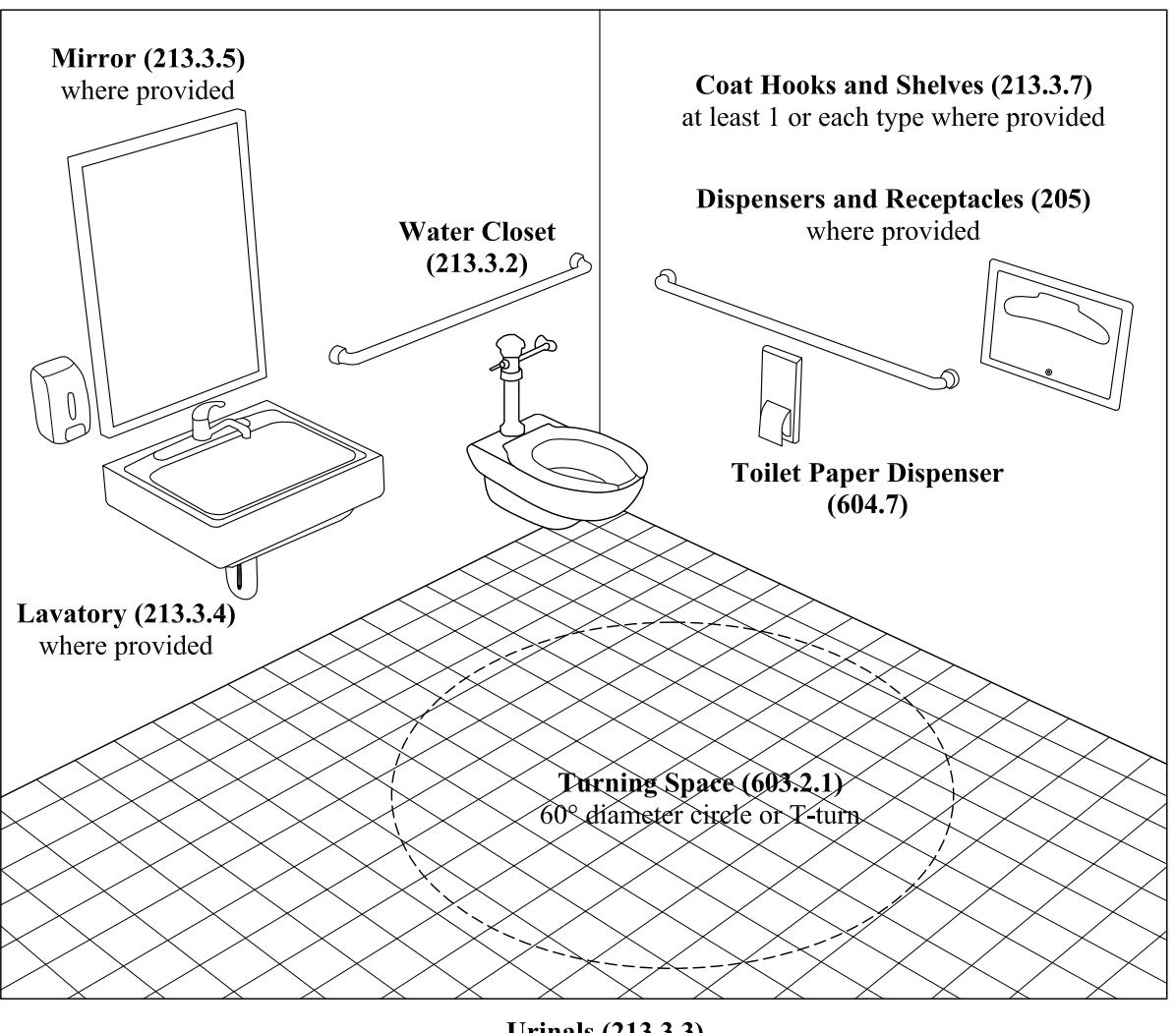


FIGURE 703.7.2.1
INTERNATIONAL SYMBOL
OF ACCESSIBILITY

COMPONENTS OF ACCESSIBLE SINGLE USER TOILET ROOM

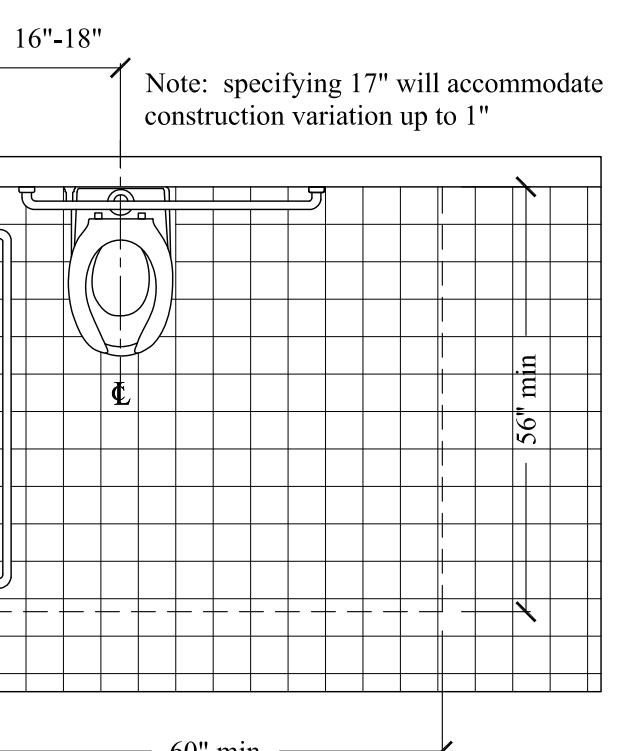
Requirements in the standards for toilet rooms address doors, turning space, plumbing fixtures, mirrors, dispensers, shelves, and other elements provided. Other provision in the Standards also apply.



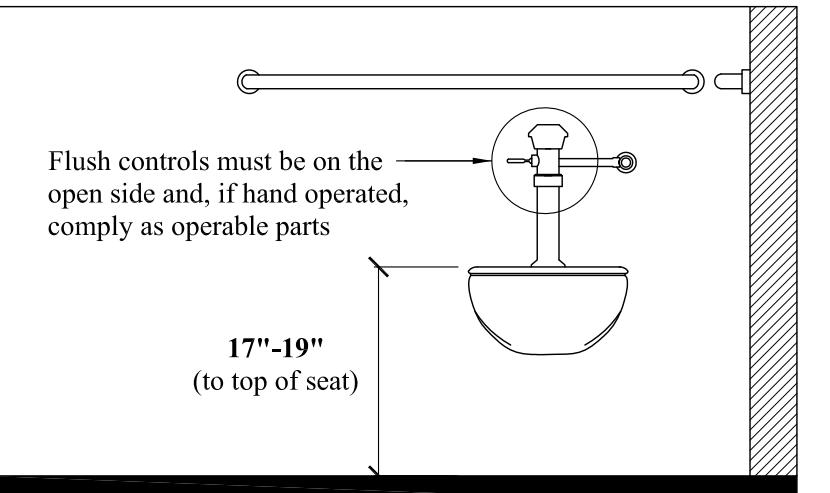
Urinals (213.3.3)
An accessible urinal is required only in toilet rooms where more than one urinal is provided.

WATER CLOSETS (213.3.2, 604)

Criteria for water closets address location, clearance, seats, grab bars, flush controls, and dispensers. Water closets can be arranged for either a left-hand or right-hand approach.

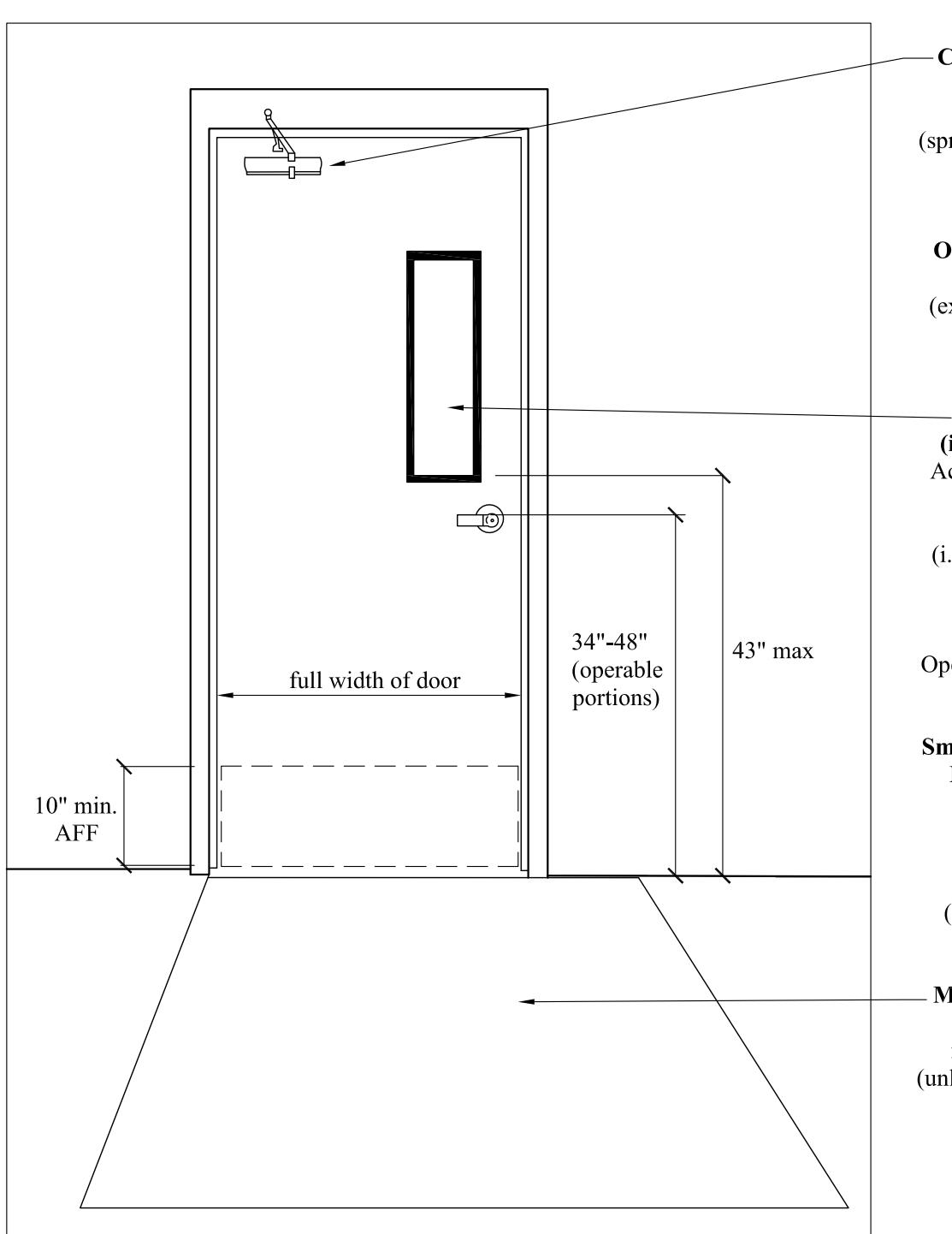


Location, Clearance, Seat Height and Flush Controls



Recommendation: Locate flush valves and related plumbing to the side of the water closet or behind walls to keep the rear grab bar clear.

MANUAL DOORS AND GATES (404.2)



Closing Speed (404.2.8)
Closers: 5 sec. min. from 90° to 12°
(spring hinges: 1.5 sec. min. from 70° to 0°)

Opening Force (404.2.9)
5lbf max.
(excluding exterior hinged doors and fire doors)

Vision/Side Lights
(if provided) (404.2.11)
Accessible viewing height
43" max, unless not intended for viewing
(i.e., lowest part above 66")

Hardware (404.2.7)
Operable parts must comply

Smooth Surface (404.2.10)
Required at bottom on the push side

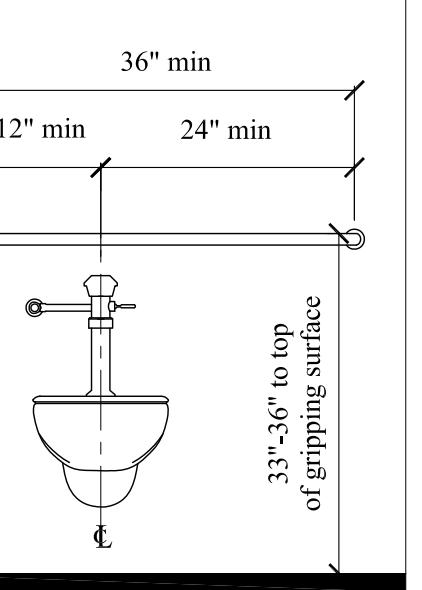
Thresholds (404.2.5)
1/2" max. high
(beveled of above 1/4")

Maneuvering Clearance
(404.2.4)
required on both sides
(unless door or gate is used in one direction only)

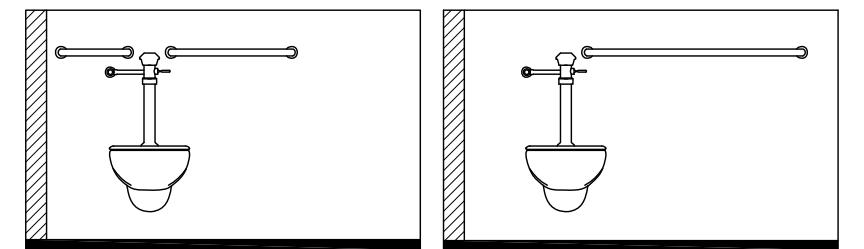
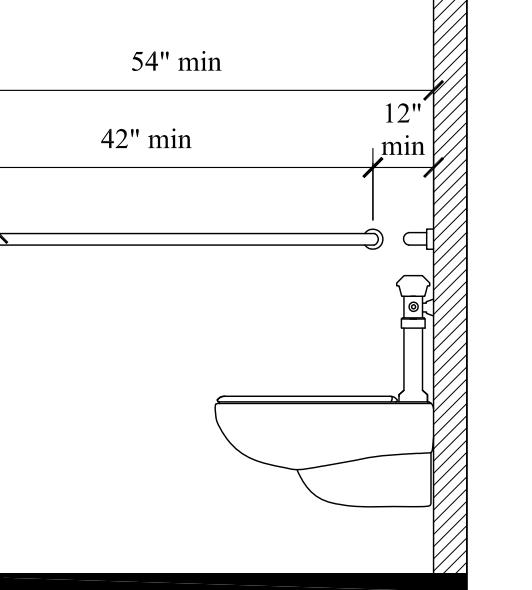
GRAB BARS (604.5, 609)

Grab bars are required to be mounted on the walls beside and behind the water closet. They can be separate or continuous. When returned to walls, the length is measured to the centerline of the return, consistent with industry practice. When attached at other points along the bar, the length is measured to the end of the bar.

Rear Grab Bar



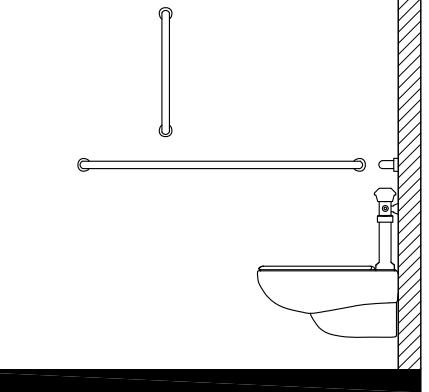
Side Grab Bar



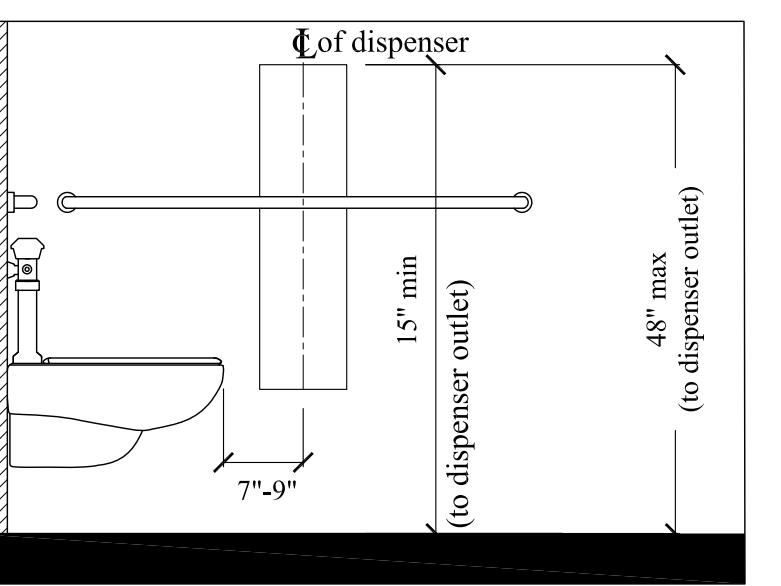
The rear grab bar can be shifted to the open side of the water closet or split where it would conflict with the location of flush controls required by applicable codes (604.5.2).

Vertical Grab Bar (ICC A117.1 Standard)

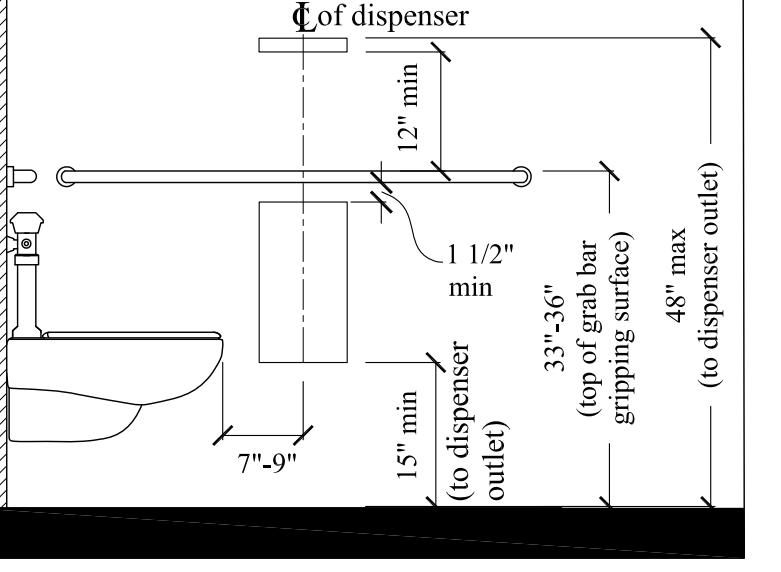
The ICC A117.1 Standard for Accessible and Usable Building and Facilities, which is referenced by the International Building Code, requires an 18" min. vertical grab bar at water closets. The ADA Standards do not require this grab bar but allow a second grab bar to be within 12" clearance above the horizontal grab bar (609.3) if there is a separation of 1 1/2" min.



Recessed Dispenser Location

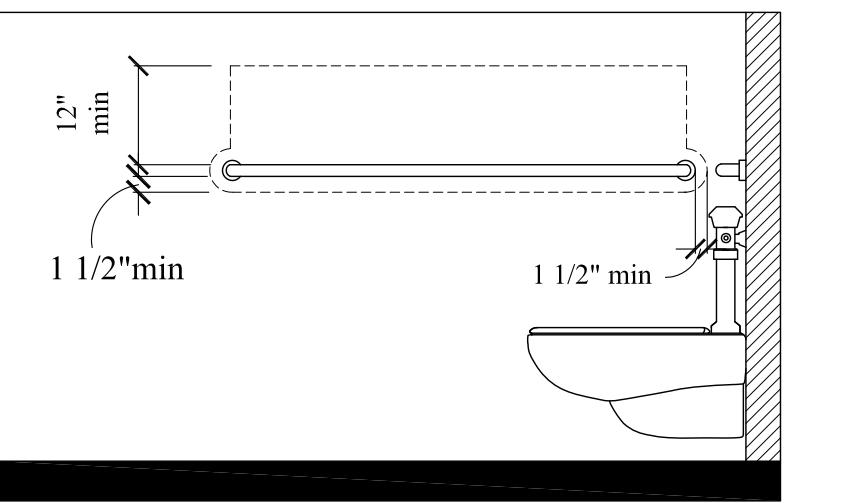


Non-Recessed Dispenser Location



If the grab bar is 36" high, a non-recessed toilet paper dispenser location above the bar must have an outlet at exactly 48" high to accommodate both the max. reach and the 12" min. clearance above the grab bar.

Minimum Clearance at Grab Bars



Cross Section and Clearance

