



City of Slidell, Louisiana

Olde Towne Preservation District Commission

Agenda

June 12, 2024 at 5:00pm

City of Slidell Planning Department Conference Room-250 Bouscaren St, Slidell, LA

Agenda packet available at myslidell.com/planning/boards/otpdc

For questions or to provide public comment before the meeting,
email OTPDC@cityofslidell.org or call (985) 646-4320 (M-F 8am to 4:30pm)



SCAN ME
for the
OTPDC website

1. **Call to Order and Roll Call**
2. **Minutes.** Review and approve minutes from May 8, 2024
3. **Public Hearings**
 - a. **CA24-25:** A request for a Certificate of Appropriateness for exterior alterations associated with home elevation grant program at 434 Mayfield Street, by Davie Shoring.
 - b. **CA24-26:** A request for a Certificate of Appropriateness for exterior alterations for property located at 2137 First Street, by Gilbert Valencia.
 - c. **CA24-27:** A request for a Certificate of Appropriateness for exterior alterations associated with an addition to 1921 Bayou Lane, by Duffy Ramirez.
 - d. **CA24-28:** A request for a Certificate of Appropriateness for exterior alterations for property located at 1928 First Street, by Andrew R. Schwing.
4. **Other Business**
5. **Informational Items**
6. **General and Public Comments**
7. **Adjournment**

The next Olde Towne Preservation District Commission meeting will be July 10, 2024.



City of Slidell, Louisiana

Olde Towne Preservation District Commission

Minutes

May 8, 2024 at 5:00 pm

City of Slidell Planning Department Conference Room-250 Bouscaren St. Suite 203, Slidell, LA

1. **Call to Order and Roll Call.** Meeting called to order by Chairperson Darby at 5:02 p.m.

Commissioners Present

Darren Darby, Chair

Jason Clayton

Michelle Cramer

Jordan Granier-5:12 P.M.

Commissioners Not Present

Jodi Stamps

Staff Present

Daniel McElmurray, Planning Director

Theresa Alexander, Planner

Erica Smith, Planning Secretary

2. **Minutes.** Motion by Commissioner Cramer to approve minutes of March 20, 2024 as written; Commissioner Clayton seconded. A vote of 3 YAYS, 0 NAYS, 0 ABSTAIN approved the minutes.

3. **Public Hearings**

- a. **CA24-14:** A request for a Certificate of Appropriateness for new construction of an accessory building at 302 Fremaux Avenue, by Grant Gravois. Introduced by Chair Darby. Grant Gravois, building owner, was present to discuss the project and answer questions by the Commission. A motion to approve as written with 16 foot height restriction was made by Commissioner Clayton. Seconded by Commissioner Granier. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **CA24-14**.
- b. **CA24-20:** A request for a Certificate of Appropriateness for new construction of an accessory building at 504 Maine Avenue, by Peggy Pichon. Introduced by Chair Darby. Ashley Massarini, son of the property owner, was present to answer any questions by the Commission. Commissioner Clayton made a motion to approve. Commissioner Granier seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **CA24-20**.
- c. **CA24-22:** A request for a Certificate of Appropriateness for demolition at 2152 Second Street, by City of Slidell. Introduced by Chair Darby. There were no questions or comments. Chair Darby made a motion to approve, seconded by Commissioner Granier. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **CA24-22**.
- d. **CA24-23:** A request for a Certificate of Appropriateness for demolition at 124 Cousin Street, by Kevin Young. Introduced by Chair Darby. Kevin Young, property owner, and Mia Kaplan were present to discuss the project and answer questions by the Commission. Young stated that instead of demolishing the building, he would be willing to give it to someone who would be willing to move it and salvage it. Commissioner Granier made a motion to approve removal of the building from the property. Commissioner Clayton seconded. A vote of 4 YAYS, 0 NAYS, 0 ABSTAIN approved **CA24-23**.

4. **Other Business**

- a. Chair Darby brought up the idea of an educational program to educate the community about historical homes, doing walking tours, etc.

5. **Informational Items**

6. **General and Public Comments**

7. **Adjournment.** Meeting adjourned at 5:51 p.m. on motion by Commissioner Granier seconded by Commissioner Clayton, and a vote of 4 YAYS, 0 NAYS, 0 ABSTAIN.

Location: 434 Mayfield Ave (Figure 1)

Historic Status: Not an historic or contributing structure (LHRI No. 52-)

Owners: Cathy and Tony Goutierrez

Applicant: Davie Shoring

Zoning: A-6 Single-Family Urban/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for Exterior Alterations in connection with Elevation through FEMA Flood Elevation Grant (see Findings for complete details)

OTPDC Meeting: 6/12/2024



Figure 1. Location aerial

STAFF RECOMMENDATION

Approval

SCOPE OF WORK

1. 434 Mayfield Ave is developed with a single-family residence (Figure 2).
2. It was estimated to be built in 1960, is within the City's Olde Towne Preservation District, but is currently not listed by the City as an Historic Structure. The State's Historic Preservation Cultural Resource Map does identify the property as being surveyed in 2021 (Figure 3 – 52-03011) as not eligible for National Historic status.
3. The applicant is working to obtain permits to elevate the existing structure to meet the FEMA Flood Elevation Requirements (Figure 4-Elevations).

4. As part of the elevation, the Owner's have chosen to install a handicap lift located along the back right corner of the home giving access to the house through a rear entrance serviced by a 160 sq foot landing (**Figure 5 – Site Plan**)
5. The City's Design Standards requires all elevated structures to have screening, using approved screening materials (App. B, Part 3, Sec. 3.202 *Elevated residences—New and existing construction*). The applicant proposes concrete lap siding for the screening, which as proposed, meets the design standards requirement (**Figure 5**).
6. At the time of drafting this staff report, the Planning Department did not receive plans on how the substantial improvements to this structure will meet the parking requirements of two hard surface parking spaces as required for single family residences. The owner's survey (**Figure 6 – Survey**) shows the building setback before elevation at 40.65 feet which provides area sufficient for only one space. A site visit by the Planning Director and Davies Shoring on 6/5/24 resulted in a discussion about the extension of the existing driveway 11' towards the rear of the property to provide for two tandem parking spaces to allow for compliance with the requirement.
7. The Site Plan (**Figure 5**) identifies several openings along the front and side elevations for installation of new windows to be installed under a separate permit by the property owners. These items will be reviewed under separate application to the Commission.

STANDARDS FOR REVIEW

7. This request is for exterior alteration associated with the elevation of the home through FEMA Flood Grant Program. It is reviewed against the standards of Sec. 2-216(r)(1), Treatment of a historic resource, Standards for Preservation. In addition, standards for elevated structures as provided in App. B, Part 3 must also be applied.

The following factors are considered in this request for a Certificate of Appropriateness:

- a. A property will be used as it was historically or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected, and if necessary, stabilized until additional work may be undertaken.
 - The current use of the property as single-family residential will be continued after elevation.
- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - The residence does not currently carry a historical status, however, there are several aspects of the design that will be maintained as shown in the State Historic Survey (**Figure 3**).
- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
 - The alterations proposed will not detract from its physical status as a typical residence constructed in the 1960's.

d. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

- The existing materials, features and finishes will be preserved.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

FINDINGS

9. The proposed elevation and materials proposed comply with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location Aerial



Figure 2. Street View (Google 2022)

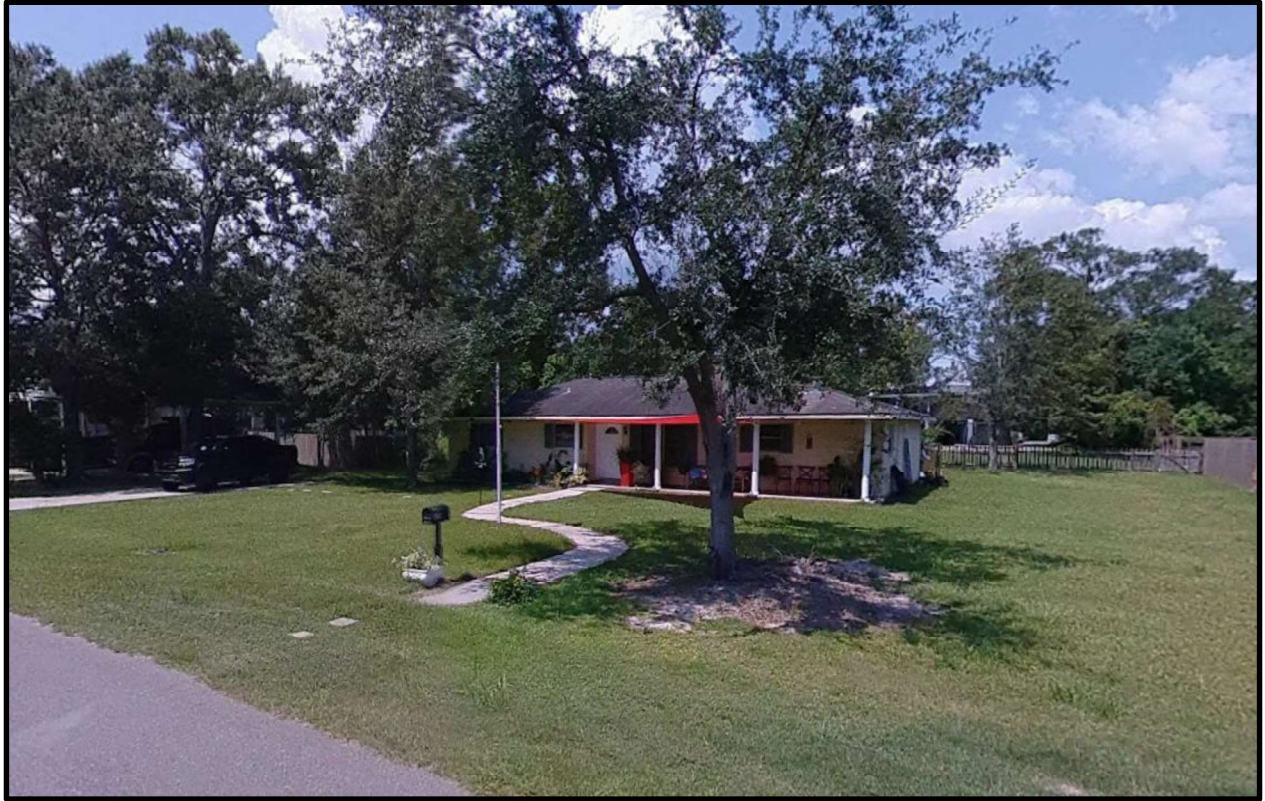


Figure 3. LHRI Survey No. 52-03011

For Review



Louisiana Historic Resource Elevation Form

Louisiana Division of Historic Preservation
Office of Cultural Development
Department of Culture, Recreation and Tourism

This form is to be used only for FEMA-funded elevation documentation and not for surveys. Please contact the SHPO for the proper survey form.

Resource ID Number

52-03011

Historic Name

Latitude (Decimal Degrees)

30.266898

Address

434 Mayfield Street

Longitude (Decimal Degrees)

-89.784964

City

Slidell

Parish

St. Tammany

Certified Local Government (CLG) Status

[click here](#) for maps of CLG

Slidell

Date Surveyed

05/22/21

Items below completed by SOI qualified personnel

National Register Status

Ineligible

Construction Date (Estimated)

1960

Type of Resource

Building

Date of Alterations (Estimated)

Eligibility Criteria

- A-Event
 B-Person
 C-Design or Construction
 D-Potential Information

Form

Ranch

Style

Ranch Style

Architectural Description and Comments: Include details on windows, doors, foundation, roof, outbuildings, or any other architectural features of note. For bridges include sub-type, if known, and approximate length. (No character limit)

This property is proposed for elevation in 2022.

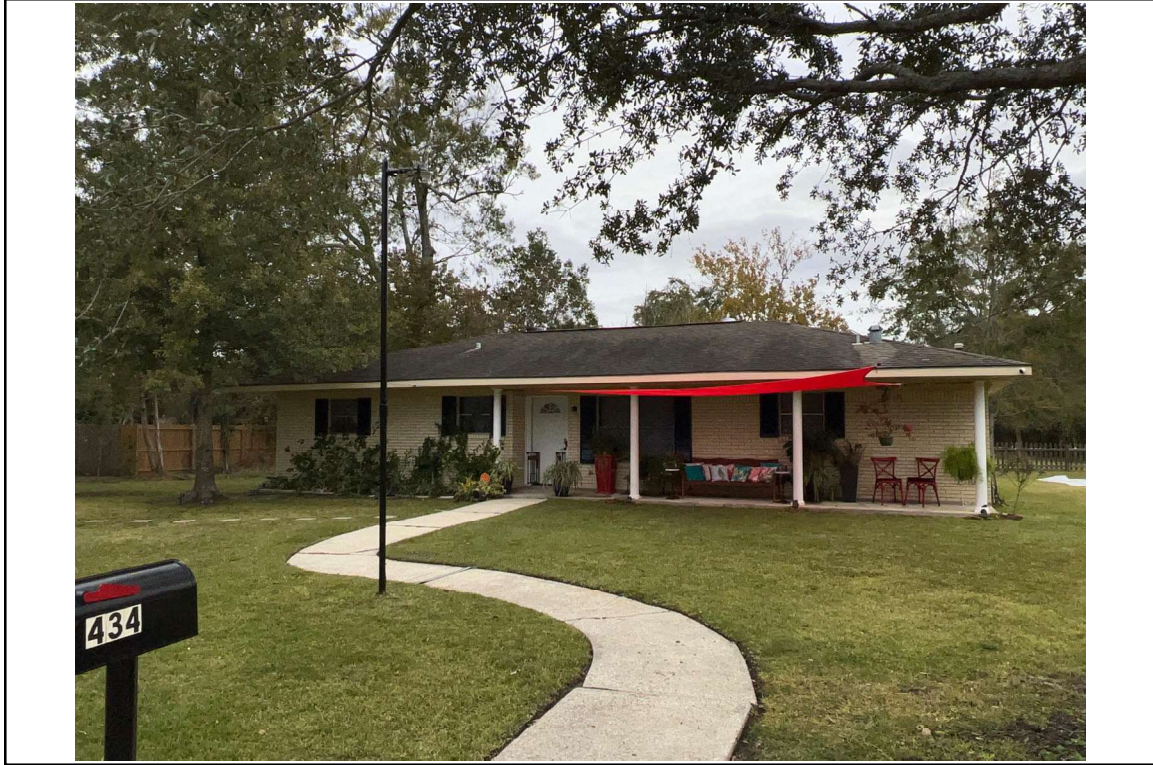
434 Mayfield Street is a one-story, hip-roofed Ranch house clad in white Roman brick veneer. The five-bay facade is sheltered by a deep overhang which is supported by columns at its southeast end. The roughly-central entry has a replacement door. Immediately to its southeast is a pair of double-hung windows with fixed shutters. The remaining three bays of the facade are lit by small double-hung windows set high in the wall. The windows appear to be original, with two horizontal panes in each sash. A portion of the southeast side elevation has been infilled with vinyl siding and has a paneled secondary entry. There is an enclosed shed-roofed porch with replacement windows on the rear (northeast)

434 Mayfield Street

Direction facing

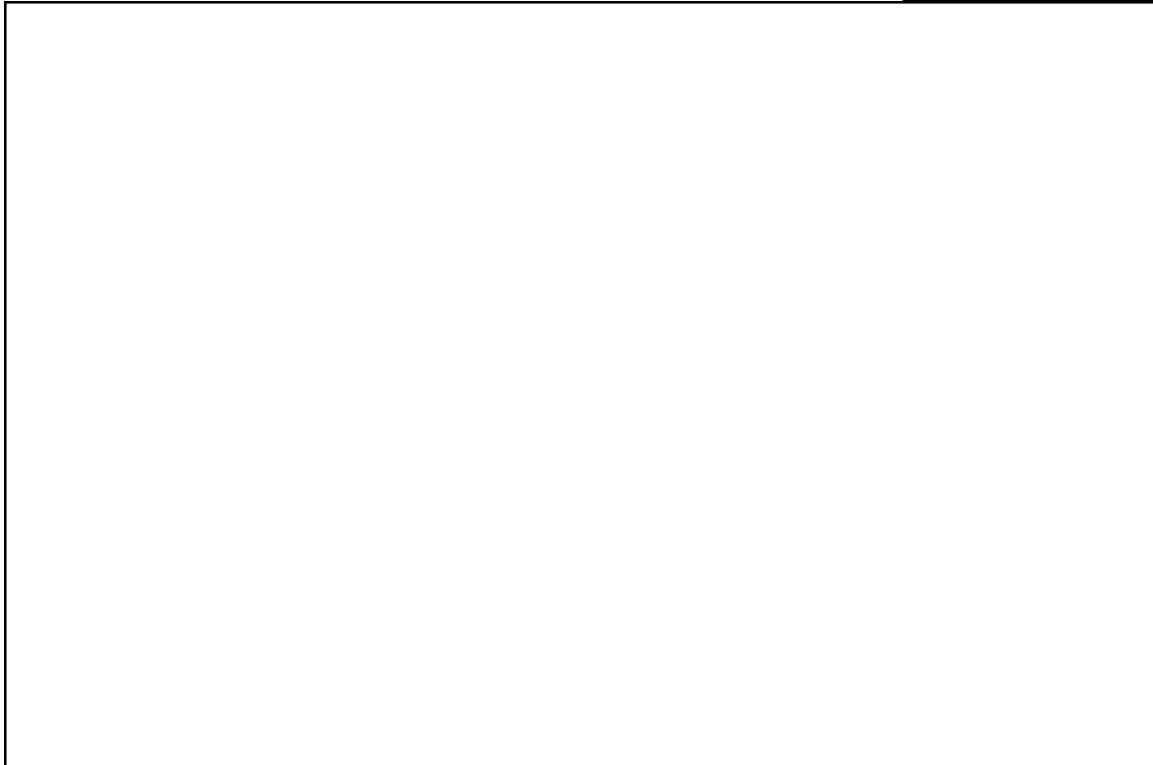
Southwest

Insert Pre Facade Photo Here:



Direction facing

Insert Post Facade Photo Here:



Direction facing

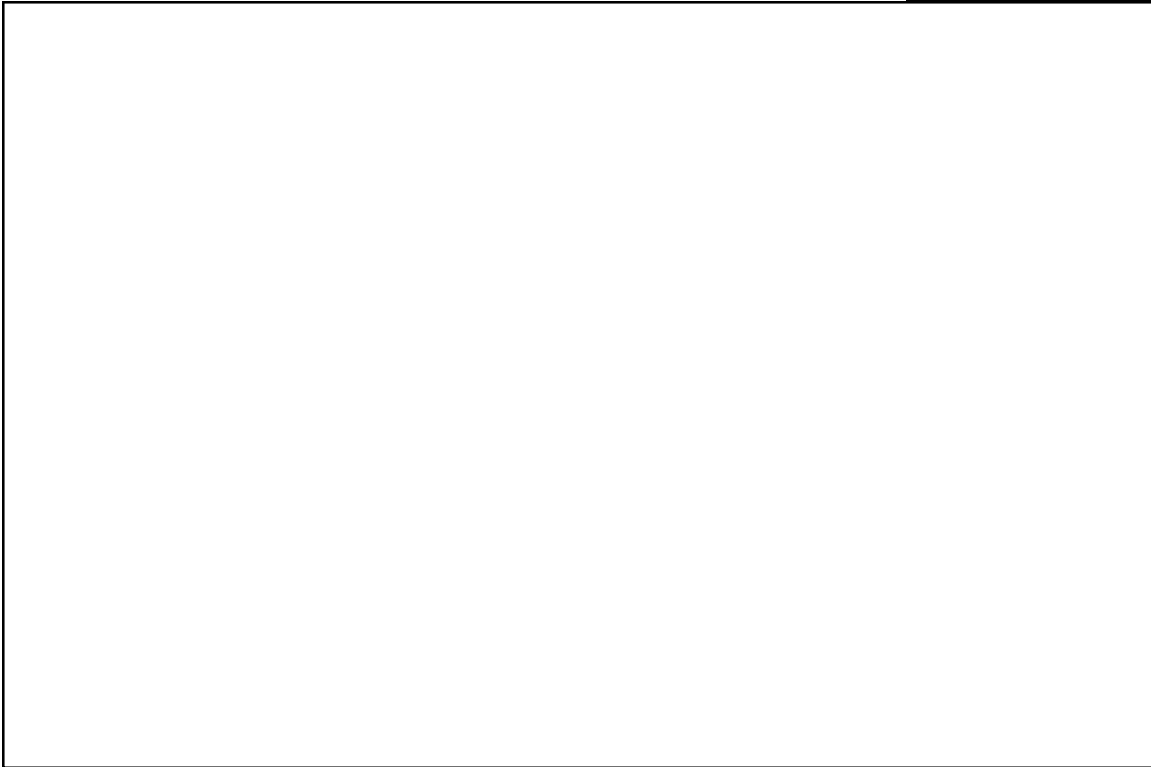
Insert Pre Side Elevation Photo Here:

Northwest



Direction facing

Insert Post Side Elevation Photo Here:



Direction facing

Insert Pre Side Elevation Photo Here:

Southeast



Direction facing

Insert Post Side Elevation Photo Here:



Direction facing

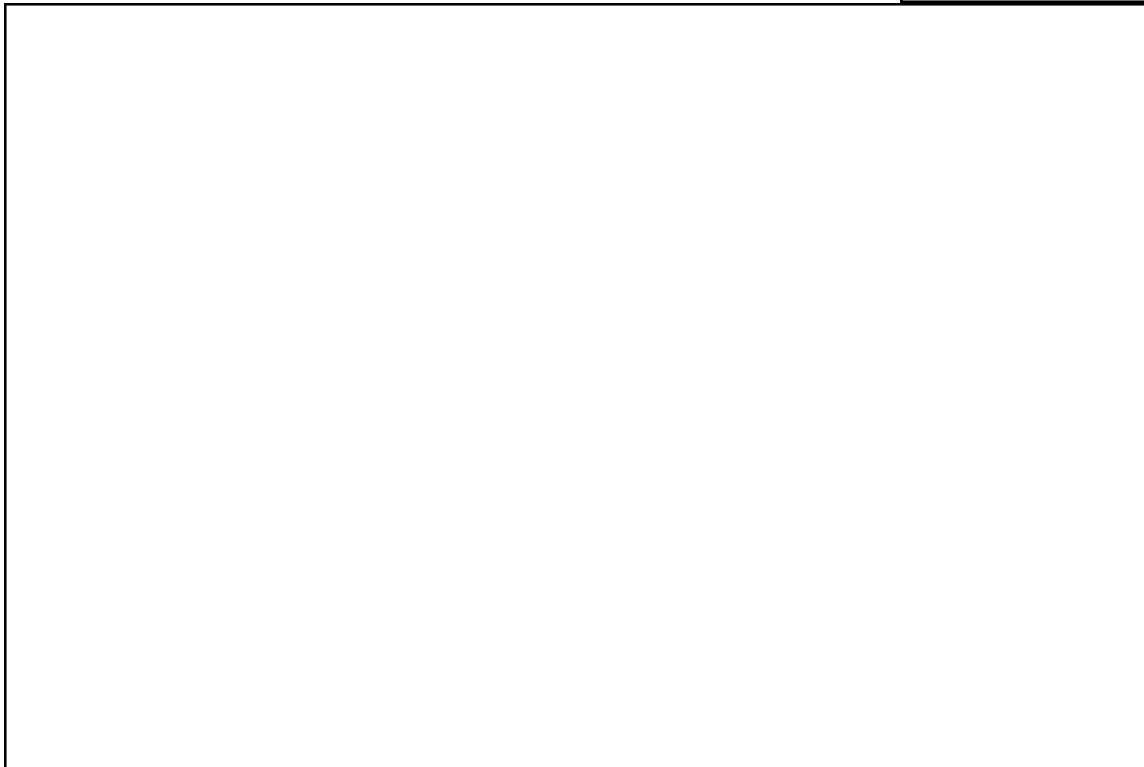
Insert Pre Rear Photo Here:

Northeast



Direction facing

Insert Post Rear Photo Here:



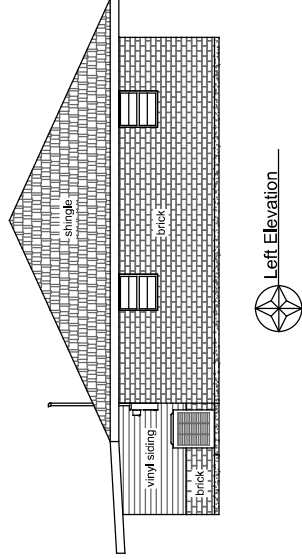
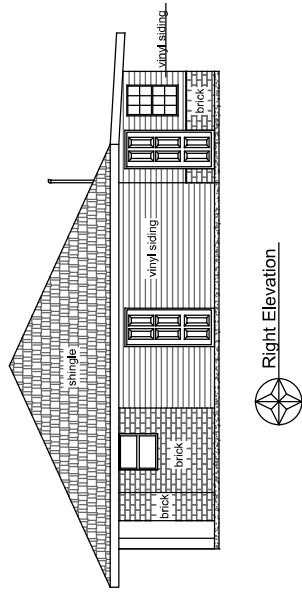
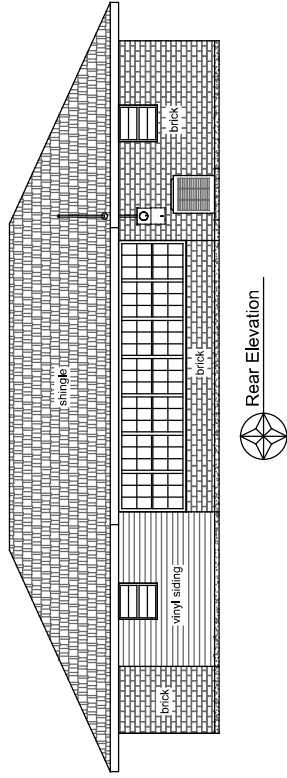
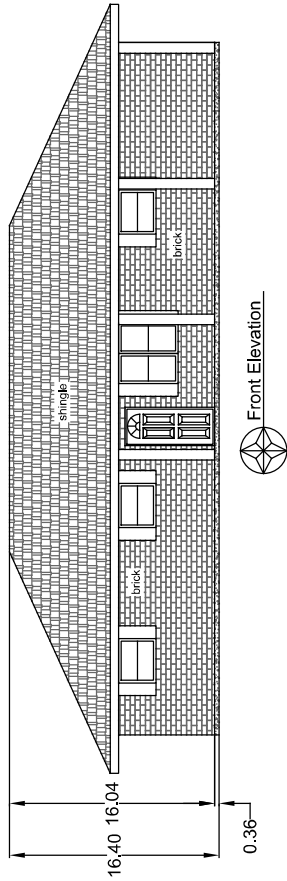
FEMA Review

SHPO Concur

Add Print Page

Figure 4. Architectural Elevations
– Proposed Construction

For Review



Pre-Lift Side Views
 Contractor: Davie Shoring, Inc.

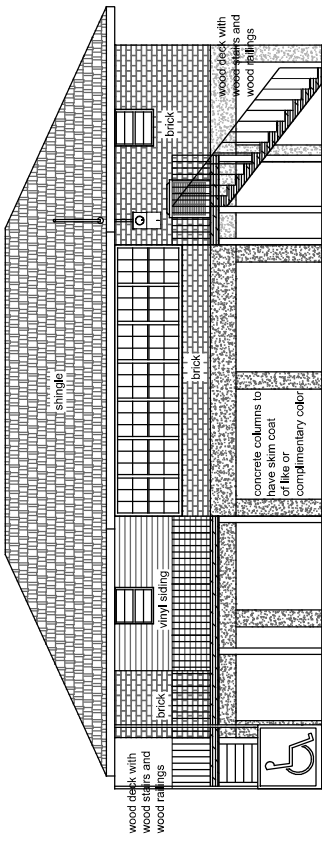
434 Mayfield Street
 Slidell, LA



Robert Barrilleaux Associates, Inc.
 ph: (985)-542-0391 fax: (985)-542-6515
 42333 Dulose Plaza Suite 8 Hammond, LA
 Engineer - Robert C. Barrilleaux, P.E. # 26869

Date: Mar 21, 2024 Scale: 1" = 10'

Drawn by: TR Revised:



Rear Elevation



Front Elevation

16.04

Finish Floor Elevation = 13.00' NAVD83

8.69

Lowest Adjacent Grade = 4.31' NAVD83

concrete columns to have skim coat of like or complimentary color

wood stairs and wood railings

skirting to be lap siding

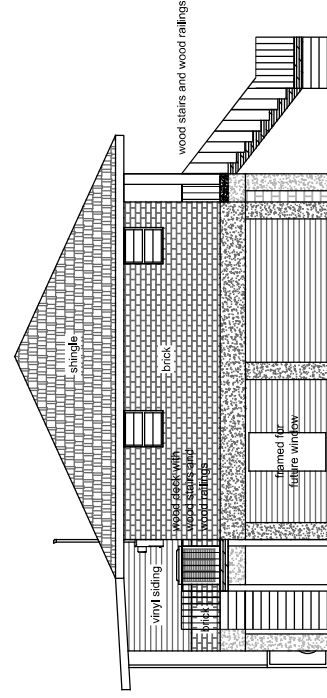
framed for future window

framed for future window

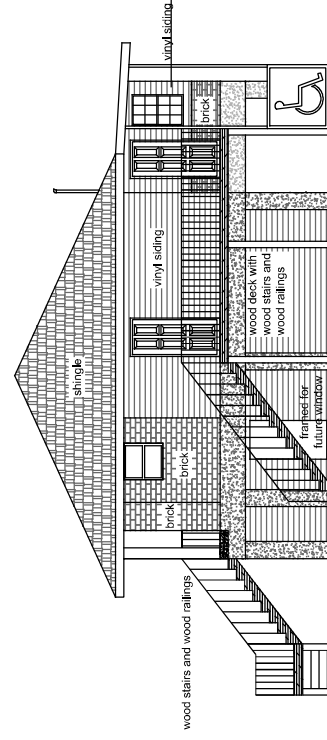
Post-Lift Side Views
 Contractor: Davie Shoring, Inc.
 434 Mayfield Street
 Slidell, LA



Date: Mar 21, 2024
 Drawn by: TR
 Scale: 1" = 10'
 Revised:



Left Elevation



Right Elevation

concrete columns to have skim coat of like or complimentary color

wood stairs and wood railings

skirting to be lap siding

framed for future window

framed for future window

Davie Shoring to Install 6" concrete lap siding between columns as required w/ (7) 36"x72" openings as shown for future windows (windows to be provided & installed by the H.O.)

Figure 5. – Site Plan

For Review












- Column location will depend upon existing sills & grade beams. Existing Grade Beams shown are assumed & shall be field verified once home is elevated. Placement of columns is to be field verified & revised after home is elevated. New columns under pier & beam are to follow existing pier location as close as possible & new columns under slab foundation are to follow existing grade beams. There shall be no joints or seams in the sill of the pier & beam not directly supported by either column or steel support.
- The condition of exterior slabs is determined to the best of the ability of the field engineer. If it is realized a slab on the lift plan is incorrectly labeled monolithic or nonmonolithic, the engineer should be contacted immediately so that structural support can be revised accordingly.
- If grade beams are found to be in a different location than assumed on these plans, engineer should be contacted to verify that steel beams will still support the new layout.

Columns shall be 16"x16" CMU concrete filled columns with the CMU Block forming the 12"x12" mold for the concrete & rebar.

ELEVATION NOTES:

Rule for Elevation is 2008 DFIRM + 2' = 13.00' NAVD88.
This will be a 8.33' lift from its current position.

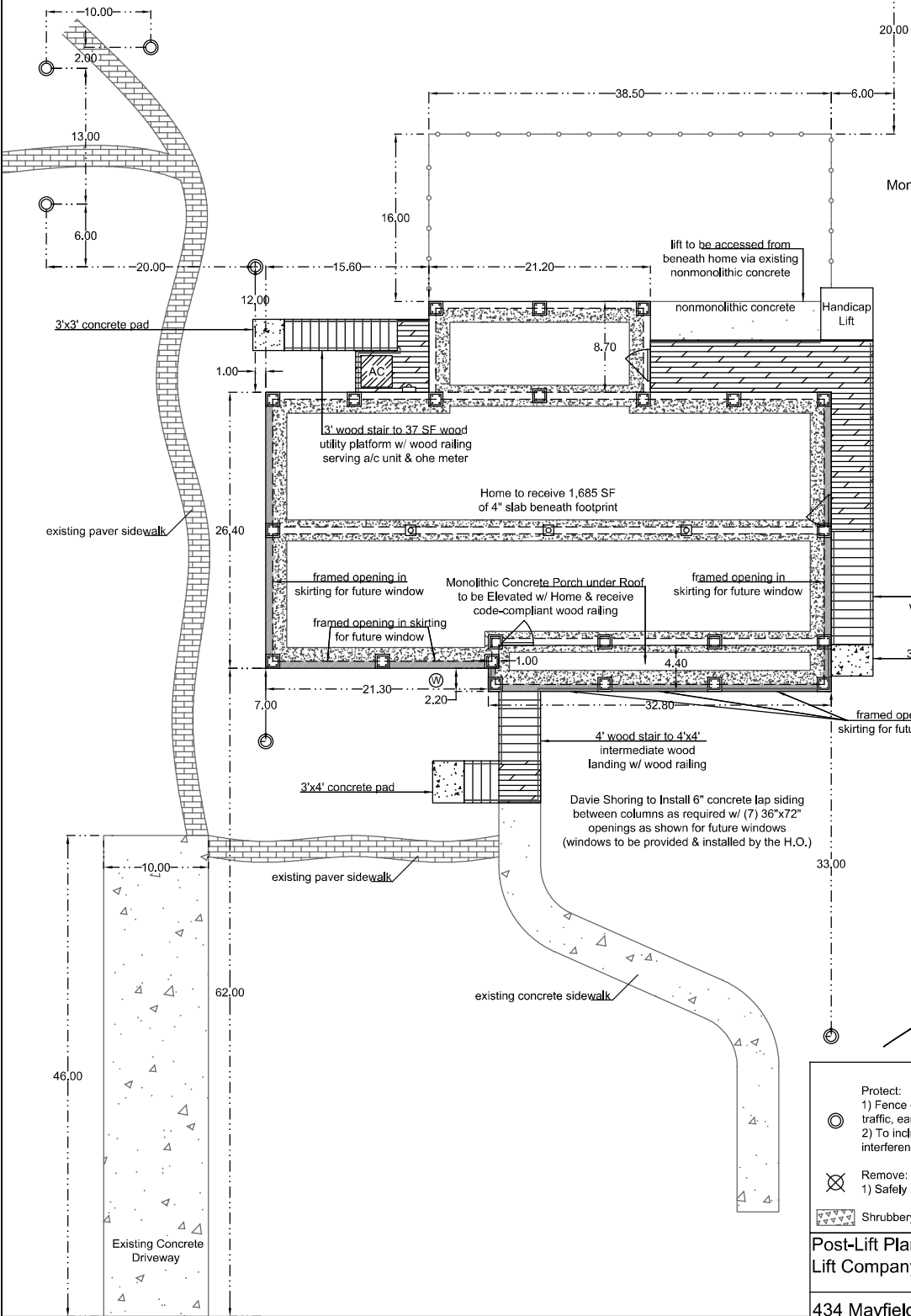
Legend

- 16"x16" CMU Block concrete filled column 
- w/ Steel Support 
- Steel Pipe Column w/ Steel Support 
- New concrete Footing 
- Existing Wood Sill 
- Water Supply 
- Gas Supply 
- Aerator 
- Electrical 
- Water Heater 
- A/C 


This is a legend only & should not be used to determine what is on site

Building Notes:

- 1st Story Living Area: 1,543 ft²
- Monolithic Porch under Roof: 142 ft²
- Columns: 23
- Post Supports: 3
- Metal Railing: 0 lin. ft.
- Wood Railing: 154 lin. ft.



Tree Legend

- Protect:
 - 1) Fence off 2' Radius to protect from equipment traffic, earth, & material stacking
 - 2) To include light trimming if necessary to prevent interference to lift.
- Remove:
 - 1) Safely remove and dispose of tree or plant.
- Shrubbery 

Post-Lift Plan
Lift Company: Davie Shoring, Inc.

434 Mayfield Street
Slidell, LA

Robert Barrilleaux Associates, Inc.
ph: (985)-542-0391 fax: (985)-542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: Mar 21, 2024 Scale: 1" = 10'
Drawn by: TB Revised:

Mayfield Street (4.37' NAVD88)

As per City of Slidell Ordinance (Appendix B, Part 3, Section 3.2, G):
Structural enclosure improvements and non-structural screening improvements shall be applied along 100 percent of all front and/or street-facing elevations, as well as along 50 percent of the entire side elevations that are not street-facing. The sidewall enclosure or screening improvement that are not street-facing shall connect to and continue from the front elevation for a distance of no less than 25 percent of the entire side elevation. The remaining 25 percent on the side elevation may be placed at the discretion of the homeowner. Improvements are not required for rear elevations that are not also street-facing.

Figure 6 – Survey

For Review

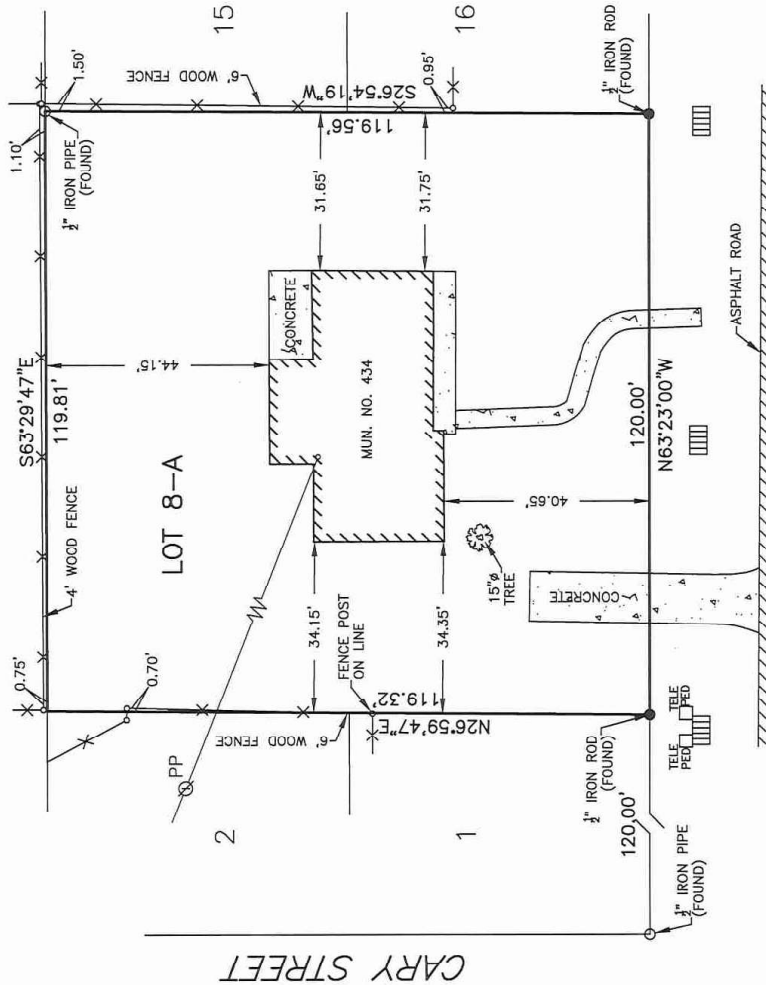
**SURVEY OF
LOT 8-A, SQUARE 6
DIVISION "D" OF THE DITTMAR ADDITION
TOWN OF SLIDELL
ST. TAMMANY PARISH, LA**
SCALE: 1" = 30'



NOTES:
1) THE SERVITUDES SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS PLAN.
2) THE PERMETER SHOWN SHALL NOT CONSTITUTE A LEGAL OPINION ON TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS WITH THE LEGAL TITLE, AND THIS PLAN IS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.
3) CERTAIN FEATURES, I.E., FENCES, WALLS, ETC., MAY BE EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS SHOW ACTUAL LOCATION.
4) ALL FENCE DIMENSIONS ARE MEASURED FROM FACE OF FENCE. FENCE IS ON THE PROPERTY LINE IF NO DIMENSION IS GIVEN.
5) REFERENCES: LEGAL DESCRIPTION, RESUBDIVISION OF LOT 7A, 8, & 9, THE WEST HALF OF LOT 10 INTO LOTS 9A & 10A, SQUARE 6, BY J.V. BURKES & ASSOCIATES, INC., DATED SEPTEMBER 3, 2020.
6) NORTH BASED ON LOUISIANA STATE PLANE COORDINATES, SOUTH ZONE.
7) MUNICIPAL NUMBER: 434 MAYFIELD STREET, SLIDELL, LA 70458
8) FRONTING STREET IS CALLED MAYFIELD AVENUE ON LEGAL DESCRIPTION.
SURVEY MADE AT THE REQUEST OF GULF COAST LIFT
3/1/2024

MARY STREET (SIDE)

BILTEN AVENUE (SIDE)



- LEGEND**
- = DRAIN INLET
 - = TELEPHONE PEDESTAL
 - = WOOD POWERPOLE WITH OVERHEAD ELECTRIC

MAYFIELD STREET
(PUBLIC RIGHT OF WAY)

THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS SET FORTH IN LOUISIANA ADMINISTRATIVE CODE TITLE 48:IXI, CHAPTER 29 FOR A CLASS "C" SURVEY OF LOUISIANA.



BY: RICHARD T. DADING, P.E.S.
LA REGISTRATION NO. 4399 SUPERVISOR

McKay & Associates, L.L.C.
ENGINEERING ~ LAND SURVEYING
7216 W. Judge Street, Avulh, LA 70002 (504) 599-7603



Staff Report
Case No. CA24-26
Certificate of Appropriateness
for Exterior Alterations at 2137 First Street

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 2137 First Street (**Figure 1**)

Historic Status: Not an historic or contributing structure

Owner/Applicant: Gilbert Valencia Investments LLC

Zoning: C-3 Central Business/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for a New Windows and Roof (see Findings for complete details)

OTPDC Meeting: 6/12/2024

STAFF RECOMMENDATION

Approval

SCOPE OF WORK

1. 2137 First Street is a developed property with a 2-story commercial building (**Figure 1**).
2. It is unknown when the structure was originally constructed, but its architectural design reflects 1950-1960 construction (**Figure 2**).
3. The applicant proposes the following exterior alterations (**Figure 3**):
 - Installation/replacement of second floor windows.
 - Installation of new roof.
 - Replacement siding at roof peaks.
 - Replace the staircase to second floor.
4. Proposed materials for the exterior alterations (**Figure 4**):
 - Windows: All windows on the second floor, with the exception of those windows being closed off, will be Black Vinyl, Left Side Horizontal Slide Opening with exterior screen.
 - Roofing: GAF 3-tab architectural singles – Royal Sovereign Charcoal
 - Second Floor Siding: **Materials currently unknown**. Color proposed – Jewett White (H0102).
 - Staircase: **Materials and color currently unknown**

STANDARDS FOR REVIEW

5. This request is for exterior alterations. It is reviewed against the standards of Sec. 2-216(r)(1) *Standards for preservation* and the general design guidelines of Sec. 2-2217 *Design guidelines for Olde Towne and Fremaux Corridor* of Appendix A *Zoning* of the City of Slidell Code of Ordinances. The following factors are considered in this request for a Certificate of Appropriateness:

Standards for preservation.

- a. A property will be used as it was historically or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected, and if necessary, stabilized until additional work may be undertaken.

Proposed alterations are consistent with the standards for preservation of a potential historical structure through the use of materials consistent with historic context.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The exterior alterations will not redefine the historic character of the property.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

No architectural features or overall redesign of the structure are proposed, therefore, no impact on the physical or visual compatibility with the historic time period will occur.

- d. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The overall craftsmanship of the property will not be altered.

- e. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

The replacement windows and siding are of materials that best match the pre-existing composition and design.

FIINDINGS

6. Even though this property is not a listed historical structure, the architectural character of the building will not be impacted by the proposed building preservation measures. The proposed exterior alterations are consistent with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location Aerial



Figure 2. Street View (2022)

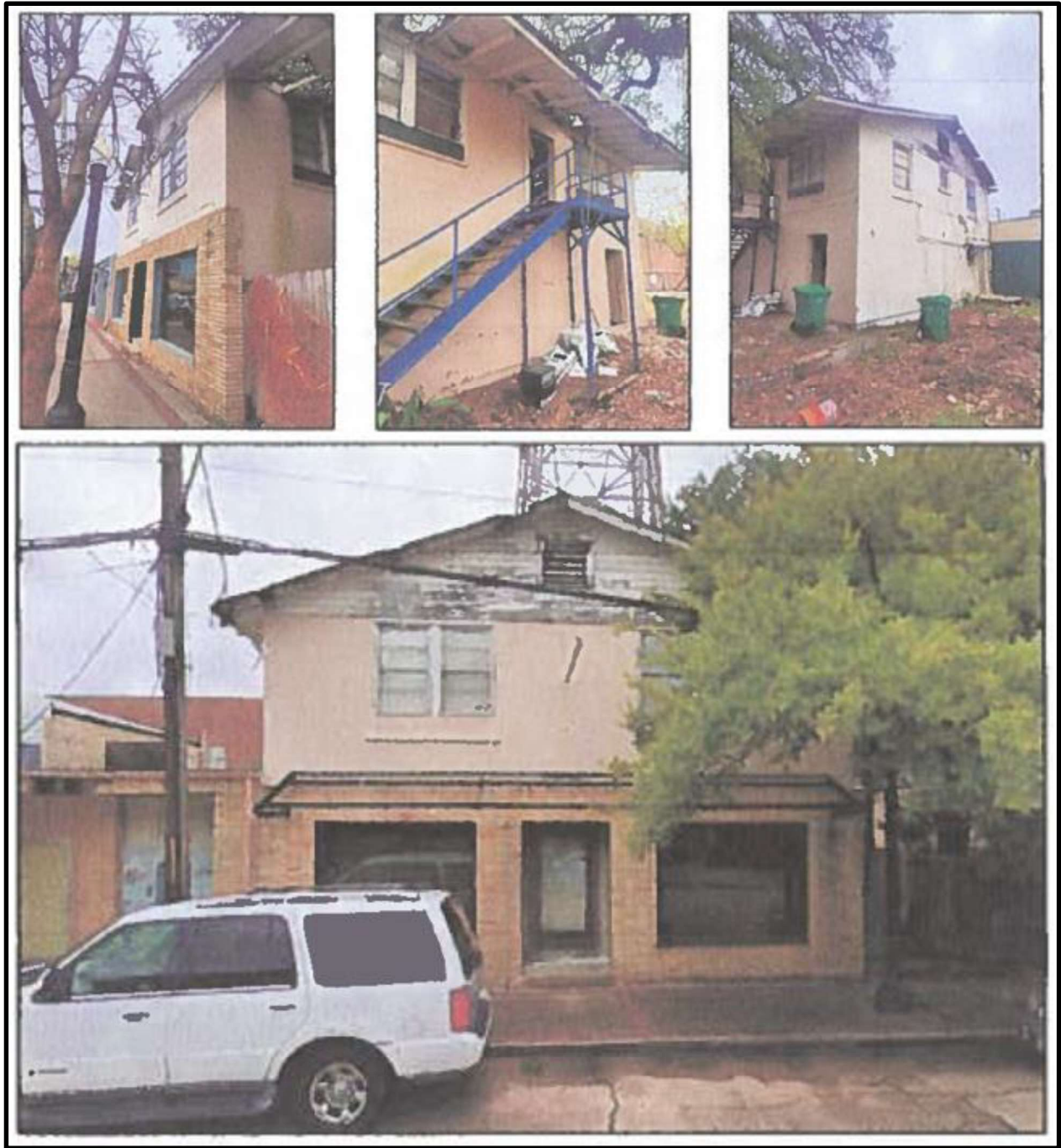


Figure 3. Proposed Alterations

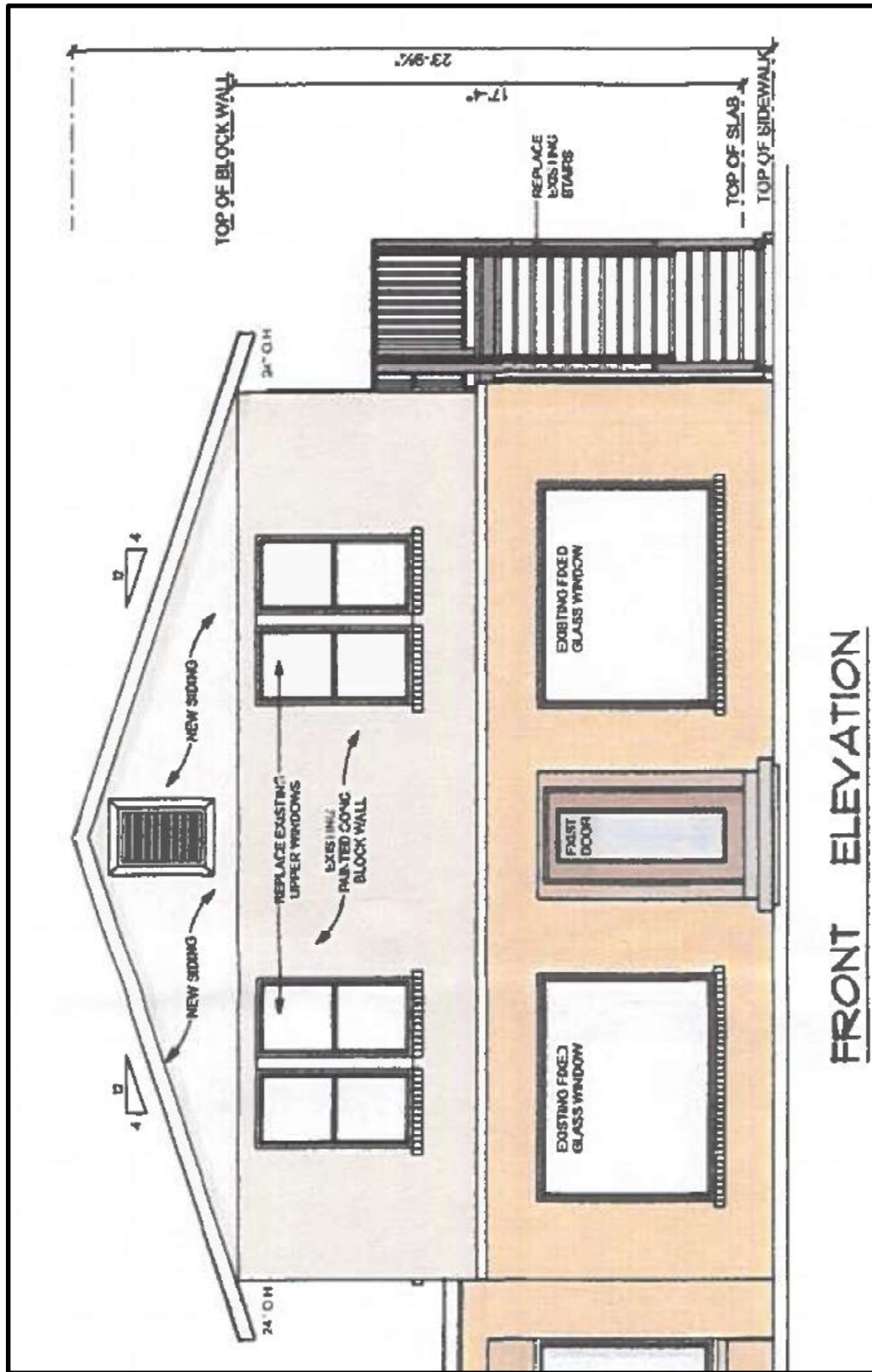


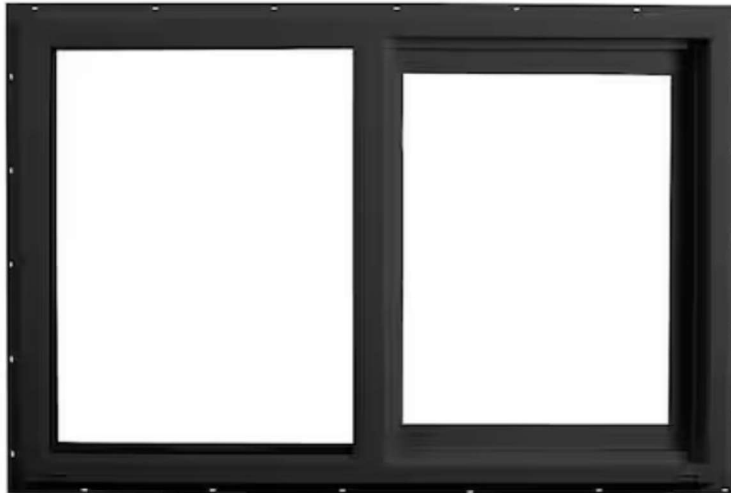
Figure 4. Replacement/Repair Materials/Color

Windows:

Ply Gem

**71.5 in. x 35.5 in. Select Series
Left Hand Horizontal Sliding
Vinyl Black Window with White
Int, HPSC Glass and Screen**

★★★★★ (6) ✓



EXTERIOR

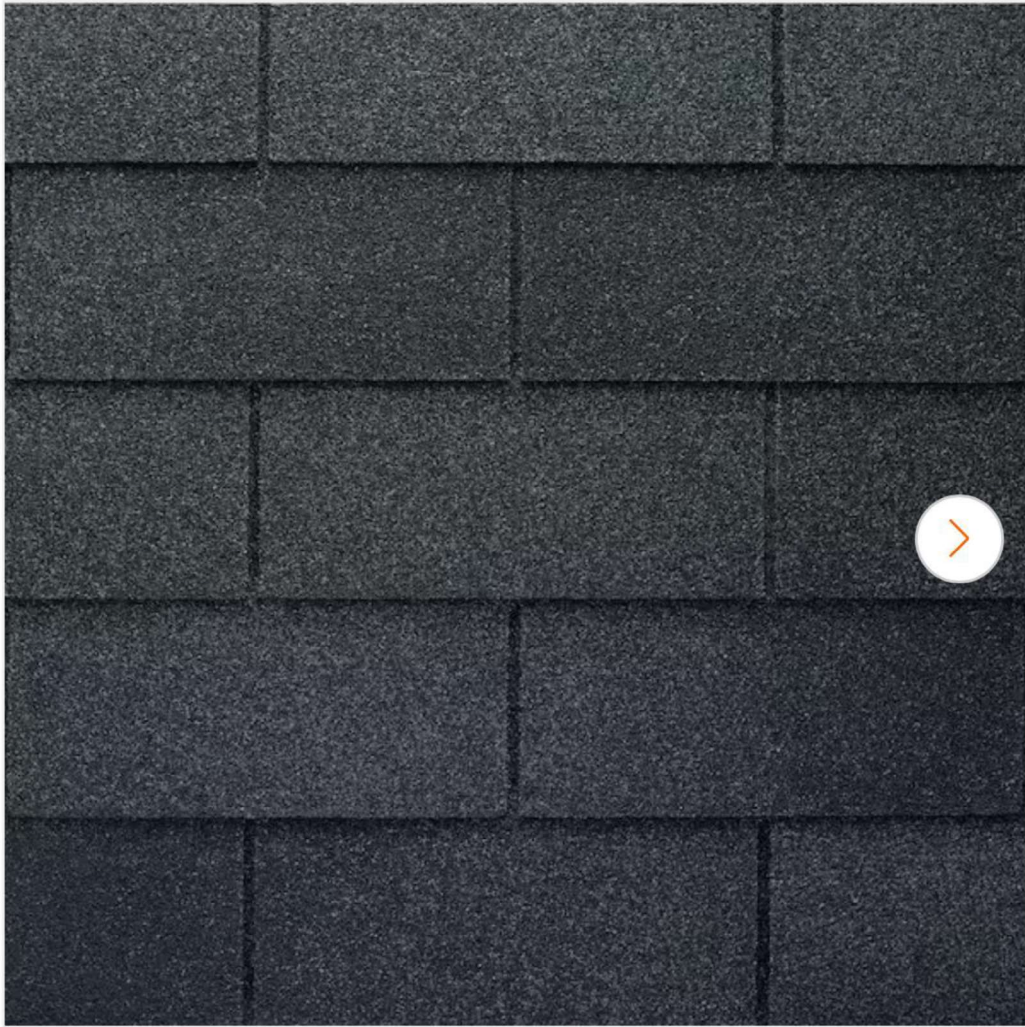


Roofing:

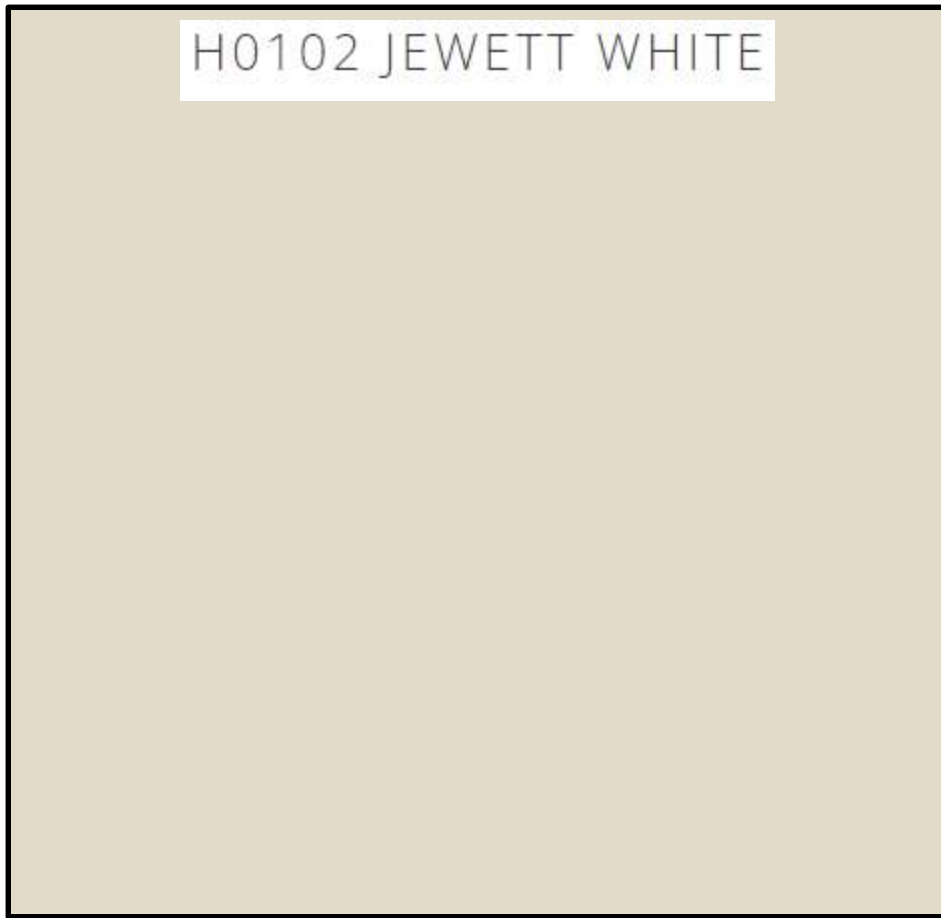
GAF

Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing Shingles (33.33 sq. ft. per. Bundle) (26-Pieces)

★★★★★ (541) ✓



Siding: Material unknown; color: Jewitt-White



Staircase: materials and color unknown.

Location: 1921 Bayou Lane (**Figure 1**)

Historic Status: Contributing historic structure within the OTPD (LHRI No. 52-00384)

Owner/Applicant: Roberts Landing, LLC, through its managing member, Duffel Ramierz

Zoning: C-2W Waterfront Mixed Use/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for a New Restroom Addition (see Findings for complete details)

OTPDC Meeting: 6/12/2024



Figure 1. Location map

STAFF RECOMMENDATION

Approval

PROPERTY HISTORY

1. 1921 Bayou Lane is developed, with a building now used for commercial activity (previously single-family residence). (**Figure 2**).
2. It was built circa 1925 with some modifications noted on the LHRI Survey from 2017 (**Attachment 1**). The structure is historically significant for its bungalow form and is identified on the 1926 Sanborn Map. (**Figure 3**)
3. There are currently three (3) buildings along Bayou Lane, in addition to this property, that are currently identified on the State Historic Properties Map, with only one, in addition to this property, 2137 Bayou Lane, on the City's historic list which is identified as "individually historic". (**Figure 4**)

SCOPE OF WORK

4. The applicant proposes to construct a 787 square foot multi-stall restroom addition to the rear of the existing building. (**Figure 5 Site Plan**)

5. The addition will be constructed at the rear of the existing building fronting Bayou Lane, connected by a screened in walkway, using the following materials.
 - a. Exterior Walls – Gray Stucco over CMU Block
 - b. Raw Cut Cedar Columns for Covered Porch
 - c. Corrugated metal roofing (?? Gauge) in silver
 - d. Hardi Board vertical siding at roof peaks in Gray
 - e. Doors (Restrooms) – Gray Hollow Metal doors
 - f. Doors – Screened In Walkway – 2 (TYPE??) doors at restroom porch, and Event grounds stairs at existing building.

(Figure 6 - elevations).

STANDARDS FOR REVIEW

6. This request is for New Construction of an addition to the existing building. It is reviewed against the standards of Sec. 2-216(q) *New construction* of the City of Slidell Code of Ordinances. The following factors are considered in this request for a Certificate of Appropriateness:
 - a. *Scale and Siting*. The addition is proposed to be constructed along the rear of the existing building with an approximate 20-foot separation from the existing building by the screened-in walkway
 - c. *Materials*. The exterior elevations of the proposed addition and screened-in walkway will complement the existing building in color but are distinctly different from the original construction. The proposed materials and color are appropriate.
 - e. *Architectural elements*. Following the existing architectural design, the proposed addition with the use of raw-cut cedar posts will complement the context of the Olde Towne Preservation District.

FINDINGS

7. The proposed addition is consistent with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location Aerial

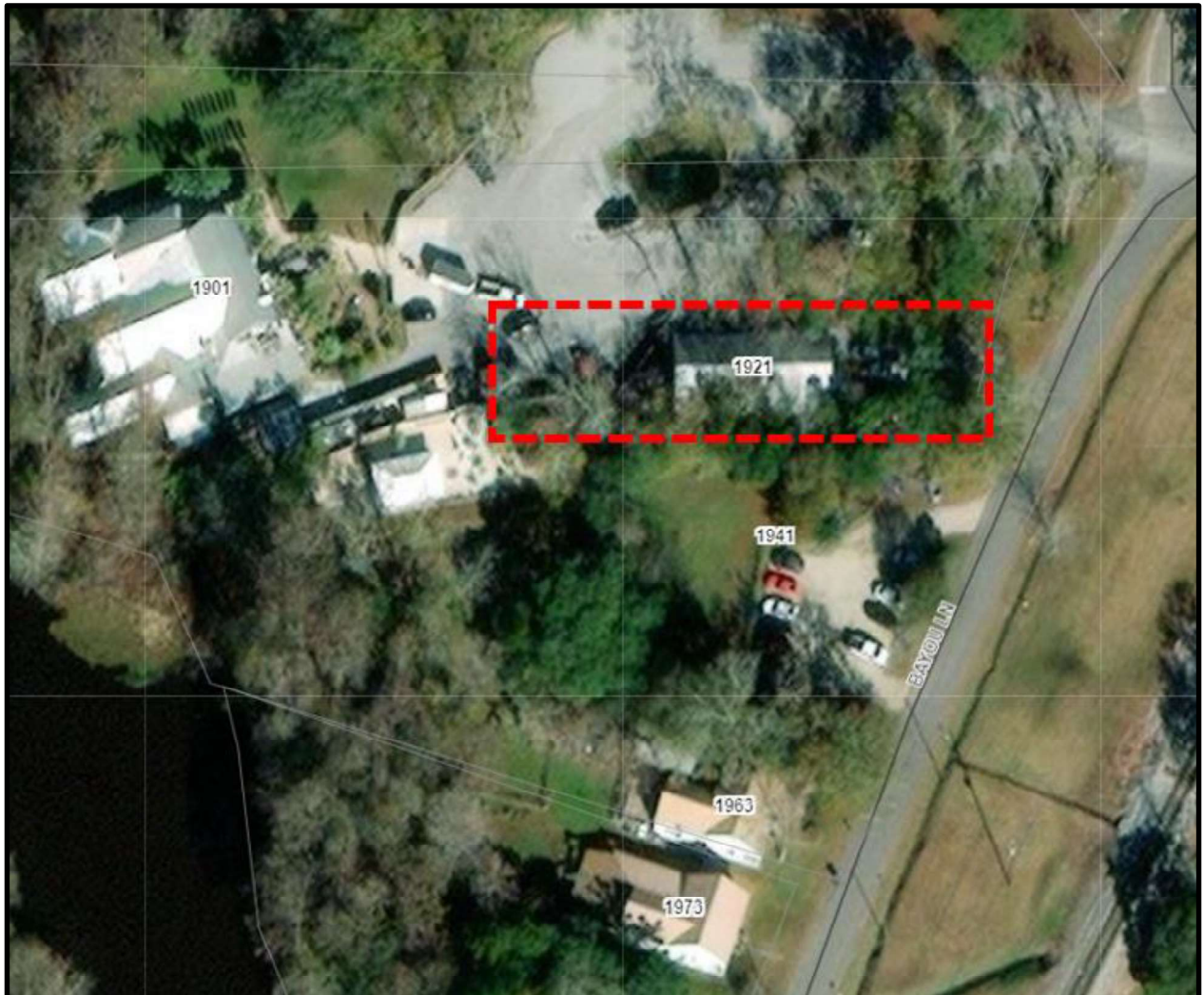
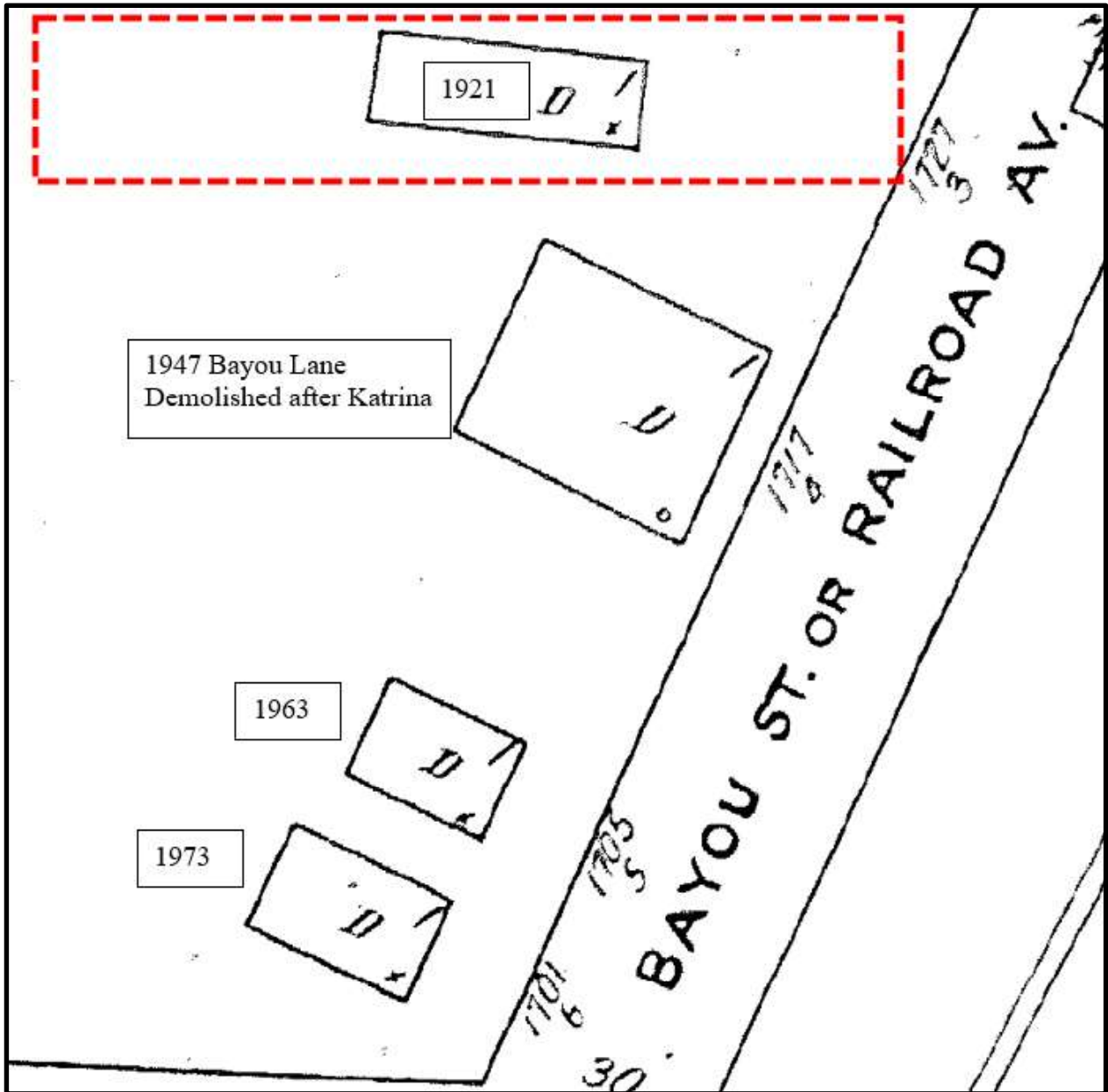


Figure 2. Street View (2023) - Anglo-American w/architectural significance (bungalow form)



Figure 3. 1926 Sandborn Map



ATTACHMENT 1 – Louisiana Historic Resource Inventory Report – Resource Number 52-00384

See next page.



Louisiana Historic Resource Inventory

Louisiana Division of Historic Preservation
Office of Cultural Development
Department of Culture, Recreation and Tourism

Resource ID Number:

52-00384

Addendum Attached

Location and Geographic Information

Name of Property: None

Address: 1921 Bayou Lane, Slidell, LA Parish: St Tammany

Locality: City Community Vicinity Rural

City/Community/Vicinity of: Slidell

Topographic Quad: Slidell Quad Size: 7.5 15

UTM:

| | | | | | | |
|--------------------------------|--------------------------------|------------------------|-------------------------|----------------------|-------------------------|------------------------|
| <input type="text" value="1"/> | <input type="text" value="6"/> | <u>3352790.337</u> | <u>232172.8409</u> | <u>14E</u> | <u>9S</u> | <u>10</u> |
| <small>zone</small> | | <small>easting</small> | <small>northing</small> | <small>range</small> | <small>township</small> | <small>section</small> |

Owner Name: WILLIAMS, GARY JAMES ETUX

Owner Address: 750 E I-10 SERVICE ROAD STE. D Tax Parcel: 1240535648
SLIDELL, LA 70461

Property Information

Type: Site Structure Building Object

Level of Recognition: NHL NR individual NR district/element DOE Local None

Previously Surveyed: Yes No When, Located Where?: 1999

Government Preservation Activity: Section 106 Grant Tax Credit Local Ord. Other

HABS/HAER: Yes No NR eligibility: Potential individual Potential district Ineligible

Condition: Excellent Good Fair Poor Ruin

Remark: _____

Integrity: Unaltered Altered (Historic) Altered (Non-Historic)

Remark: See Additions and Alterations section

Threats: Abandonment Neglect Alteration Development Government Action None

Remark: _____

Physical Description

Date of Construction: Circa 1925
 Exact

Moved: Yes
 No

When? _____

Function and Use "P" for Present, "H" for Historic

- | | | | | |
|------------------------------------------------|------------------------------------------------|--------------------------------------------------|-------------------------------------------------|-----------------------------------------------|
| <input checked="" type="checkbox"/> domestic | <input type="checkbox"/> social | <input type="checkbox"/> library | <input type="checkbox"/> animal facility | <input type="checkbox"/> fortification |
| <input type="checkbox"/> single dwelling | <input type="checkbox"/> meeting hall | <input type="checkbox"/> research facility | <input type="checkbox"/> fishing facility | <input type="checkbox"/> military facility |
| <input type="checkbox"/> secondary structure | <input type="checkbox"/> clubhouse | <input type="checkbox"/> religion | <input type="checkbox"/> horticultural facility | <input type="checkbox"/> coast guard facility |
| <input type="checkbox"/> servant quarter | <input type="checkbox"/> civic | <input type="checkbox"/> religious facility | <input type="checkbox"/> irrigation facility | <input type="checkbox"/> battle site |
| <input type="checkbox"/> multiple dwelling | <input type="checkbox"/> government | <input type="checkbox"/> church school | <input type="checkbox"/> industry | <input type="checkbox"/> landscape |
| <input type="checkbox"/> hotel | <input type="checkbox"/> capitol | <input type="checkbox"/> recreation/culture | <input type="checkbox"/> manufacturing | <input type="checkbox"/> park |
| <input type="checkbox"/> institutional housing | <input type="checkbox"/> city hall | <input type="checkbox"/> theater | <input type="checkbox"/> extractive facility | <input type="checkbox"/> plaza |
| <input type="checkbox"/> camp | <input type="checkbox"/> correctional facility | <input type="checkbox"/> auditorium | <input type="checkbox"/> waterworks | <input type="checkbox"/> garden |
| <input type="checkbox"/> commerce/trade | <input type="checkbox"/> fire station | <input type="checkbox"/> museum | <input type="checkbox"/> communication facility | <input type="checkbox"/> transportation |
| <input type="checkbox"/> business | <input type="checkbox"/> government office | <input type="checkbox"/> sports facility | <input type="checkbox"/> processing site | <input type="checkbox"/> rail-related |
| <input type="checkbox"/> professional | <input type="checkbox"/> custom house | <input type="checkbox"/> outdoor recreation | <input type="checkbox"/> energy production | <input type="checkbox"/> air-related |
| <input type="checkbox"/> organizational | <input type="checkbox"/> post office | <input type="checkbox"/> fair | <input type="checkbox"/> health care | <input type="checkbox"/> water-related |
| <input type="checkbox"/> financial institution | <input type="checkbox"/> public works | <input type="checkbox"/> monument/marker | <input type="checkbox"/> hospital | <input type="checkbox"/> road-related |
| <input type="checkbox"/> specialty store | <input type="checkbox"/> courthouse | <input type="checkbox"/> work of art | <input type="checkbox"/> clinic | <input type="checkbox"/> pedestrian-related |
| <input type="checkbox"/> department store | <input type="checkbox"/> education | <input type="checkbox"/> agriculture/subsistence | <input type="checkbox"/> sanitarium | <input type="checkbox"/> unknown |
| <input type="checkbox"/> restaurant | <input type="checkbox"/> school | <input type="checkbox"/> processing | <input type="checkbox"/> medical office | <input type="checkbox"/> vacant |
| <input type="checkbox"/> warehouse | <input type="checkbox"/> college | <input type="checkbox"/> storage | <input type="checkbox"/> resort | <input type="checkbox"/> other _____ |
| | | | <input type="checkbox"/> defense | |
| | | | <input type="checkbox"/> arms storage | |

Form and Dimensions

- | | | | | | |
|-----------------------------------------|-------------------------------------------------------|-----------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|------------------------------------|
| <input type="checkbox"/> single pen | <input type="checkbox"/> central-hall | <input type="checkbox"/> hall-parlor I-house | <input type="checkbox"/> skyscraper | <input type="checkbox"/> H | <input type="checkbox"/> L |
| <input type="checkbox"/> shotgun | <input type="checkbox"/> gable-ell | <input type="checkbox"/> Creole house | <input type="checkbox"/> commercial row bldg. | <input type="checkbox"/> U | <input type="checkbox"/> cruciform |
| <input type="checkbox"/> double-shotgun | <input checked="" type="checkbox"/> bungalow | <input type="checkbox"/> central hall, 2 pile house | <input type="checkbox"/> freestanding commercial | <input type="checkbox"/> T | <input type="checkbox"/> T |
| <input type="checkbox"/> camelback | <input type="checkbox"/> pyramidal cottage | <input type="checkbox"/> Queen Anne house | <input type="checkbox"/> single-crib barn | <input type="checkbox"/> symmetrical <input type="checkbox"/> vertical | |
| <input type="checkbox"/> double pen | <input type="checkbox"/> Queen Anne cottage | <input type="checkbox"/> four square | <input type="checkbox"/> transverse-crib barn | <input checked="" type="checkbox"/> asymmetrical <input checked="" type="checkbox"/> horizontal | |
| <input type="checkbox"/> hall-parlor | <input type="checkbox"/> central-hall, 2 pile cottage | <input type="checkbox"/> minimal tradition cottage | <input type="checkbox"/> other | | |
| <input type="checkbox"/> saddlebag | <input type="checkbox"/> bluffland cottage | <input type="checkbox"/> split level | | | |
| <input type="checkbox"/> creole cottage | <input type="checkbox"/> central-hall I-house | <input type="checkbox"/> ranch | Height: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1.5 <input type="checkbox"/> 2 <input type="checkbox"/> 2.5 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5-10 <input type="checkbox"/> 10-20 <input type="checkbox"/> 20+ | | |
| <input type="checkbox"/> dog trot | <input type="checkbox"/> double-pen I-house | <input type="checkbox"/> row house | Width: <input type="checkbox"/> 1 <input type="checkbox"/> 1.5 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 2.5 <input type="checkbox"/> 3 <input type="checkbox"/> 3+ | | |
| | | <input type="checkbox"/> warehouse | Depth: <input type="checkbox"/> 1 <input type="checkbox"/> 1.5 <input type="checkbox"/> 2 <input type="checkbox"/> 2.5 <input checked="" type="checkbox"/> 3 <input type="checkbox"/> 3+ | | |
| | | <input type="checkbox"/> depot | | | |

Style

High Style Elements of... No Style

- | | | | | | |
|--------------------------------------------------|-------------------------------------------|-----------------------------------------|----------------------------------------------|-----------------------------------------------|----------------------------------------|
| <input type="checkbox"/> Creole/ French Colonial | <input type="checkbox"/> Exotic Revival | <input type="checkbox"/> Eastlake/Stick | <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Prairie | <input type="checkbox"/> International |
| <input type="checkbox"/> Federal | <input type="checkbox"/> Victorian Gothic | <input type="checkbox"/> Shingle Style | <input type="checkbox"/> Classical Revival | <input type="checkbox"/> Commercial Style | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Greek Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Romanesque | <input type="checkbox"/> Tudor Revival | <input type="checkbox"/> Chicago | |
| <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Second Empire | <input type="checkbox"/> Renaissance | <input type="checkbox"/> Late Gothic Revival | <input type="checkbox"/> Skyscraper | |
| <input type="checkbox"/> Italian Villa | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Beau Arts | <input type="checkbox"/> Mission | <input checked="" type="checkbox"/> Craftsman | |
| | | | <input type="checkbox"/> Italian Renaissance | <input type="checkbox"/> Moderne | |
| | | | <input type="checkbox"/> French Renaissance | <input type="checkbox"/> Art Deco | |

Foundation

- | | | | | |
|-----------------------------------------|------------------------------------------------|----------------------------------------------------|----------------------------------|---------------------------------------------------|
| <input type="checkbox"/> sill on ground | <input type="checkbox"/> concrete block pier | <input type="checkbox"/> continuous stone | <input type="checkbox"/> unknown | <input type="checkbox"/> w/stone infill |
| <input type="checkbox"/> wooden pier | <input type="checkbox"/> concrete pylon pier | <input type="checkbox"/> continuous concrete block | | <input type="checkbox"/> w/ brick infill |
| <input type="checkbox"/> post in ground | <input checked="" type="checkbox"/> brick pier | <input type="checkbox"/> continuous brick | | <input type="checkbox"/> w/ concrete block infill |
| | | <input type="checkbox"/> concrete slab | | |

Construction

- | | | | |
|-------------------------------------------|----------------------------------------------|----------------------------------------------------------|-----------------------------------------------|
| <input type="checkbox"/> log (note notch) | <input type="checkbox"/> balloon frame | <input type="checkbox"/> load bearing concrete block | <input type="checkbox"/> w/ bousillage infill |
| <input type="checkbox"/> hewn log | <input type="checkbox"/> unknown wood frame | <input type="checkbox"/> reinforced concrete | <input type="checkbox"/> w/ brick infill |
| <input type="checkbox"/> post in ground | <input type="checkbox"/> french timber frame | <input type="checkbox"/> steel frame/curtain wall | <input type="checkbox"/> w/ stone infill |
| <input type="checkbox"/> post on sill | <input type="checkbox"/> eastern brace frame | <input checked="" type="checkbox"/> unknown construction | |

Exterior Materials

- | | | | |
|------------------------------------------------------------|-------------------------------------------------------|--------------------------------------------------|----------------------------------------------------|
| <input type="checkbox"/> vertical board | <input type="checkbox"/> stone (note dressing) | <input type="checkbox"/> terra cotta | <input type="checkbox"/> asphalt |
| <input type="checkbox"/> board and batten | <input type="checkbox"/> concrete block | <input type="checkbox"/> glazed brick/tile/block | <input type="checkbox"/> reconstituted wood siding |
| <input type="checkbox"/> log (note dressing) | <input type="checkbox"/> wood shingle | <input type="checkbox"/> sheet metal | <input type="checkbox"/> permastone |
| <input checked="" type="checkbox"/> clapboard/weatherboard | <input type="checkbox"/> exposed bousillage | <input type="checkbox"/> enamelled steel | <input type="checkbox"/> other (see narrative) |
| <input type="checkbox"/> drop/novelty siding | <input type="checkbox"/> stucco | <input type="checkbox"/> asbestos | <input type="checkbox"/> unknown |
| <input type="checkbox"/> flush horizontal board | <input checked="" type="checkbox"/> brick (note bond) | <input type="checkbox"/> glass block | |
| | | <input type="checkbox"/> aluminum/vinyl siding | |

Roof

- | | | | | | |
|-------------------------------------------------|----------------------------------------|---------------------------------------|------------------------------------------------|----------------------------------|-----------------------------------------------|
| <input type="checkbox"/> parapet gable | <input type="checkbox"/> gambrel | <input type="checkbox"/> pyramidal | <input type="checkbox"/> conical | <input type="checkbox"/> unknown | <input checked="" type="checkbox"/> low pitch |
| <input type="checkbox"/> stepped gable | <input type="checkbox"/> hip | <input type="checkbox"/> mansard | <input type="checkbox"/> flat | | <input type="checkbox"/> moderate pitch |
| <input checked="" type="checkbox"/> front gable | <input type="checkbox"/> clipped gable | <input type="checkbox"/> complex | <input type="checkbox"/> shed | | <input type="checkbox"/> steep pitch |
| <input type="checkbox"/> side gable | <input type="checkbox"/> cross gable | <input type="checkbox"/> gable on hip | <input type="checkbox"/> other (see narrative) | | <input type="checkbox"/> w/ parapet wall |

Roof Materials

- | | |
|-------------------------------------------|---------------------------------------------------|
| <input type="checkbox"/> asphalt shingle | <input type="checkbox"/> built up |
| <input type="checkbox"/> wood shingle | <input type="checkbox"/> other |
| <input type="checkbox"/> slate | <input type="checkbox"/> unknown |
| <input checked="" type="checkbox"/> metal | <input type="checkbox"/> ceramic/terra cotta tile |

Chimney(s)

- | | |
|---------------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> ridge center | <input type="checkbox"/> lateral exterior |
| <input type="checkbox"/> ridge off-center | <input type="checkbox"/> removed |
| <input type="checkbox"/> slope center | <input type="checkbox"/> other |
| <input type="checkbox"/> slope off center | <input type="checkbox"/> unknown |
| <input type="checkbox"/> gable end exterior | <input type="checkbox"/> None |
| <input type="checkbox"/> gable end interior/flush | |

| | | | | | | | | | |
|---------------------------------------|-------------------------------------------------|----------------------------------------|-------------------------------------------------|-------------------------------------------|-------------------------------------------|---------------------------------|--------------------------------------------|----------------------------------|----------------------------------|
| Windows | | <input type="checkbox"/> fixed divided | <input type="checkbox"/> bay | <input type="checkbox"/> sliding | <input checked="" type="checkbox"/> 1 / 1 | <input type="checkbox"/> 9 / 9 | <input type="checkbox"/> 4 / 1 | <input type="checkbox"/> 9 / 6 | <input type="checkbox"/> stained |
| <input type="checkbox"/> batten | <input type="checkbox"/> single-hung | <input type="checkbox"/> oriel | <input checked="" type="checkbox"/> replacement | <input checked="" type="checkbox"/> 2 / 2 | <input type="checkbox"/> 12 / 12 | <input type="checkbox"/> 6 / 1 | <input checked="" type="checkbox"/> multi- | <input type="checkbox"/> diamond | |
| <input type="checkbox"/> fixed single | <input checked="" type="checkbox"/> double-hung | <input type="checkbox"/> Palladian | <input type="checkbox"/> unknown | <input type="checkbox"/> 4 / 4 | <input type="checkbox"/> 2 / 1 | <input type="checkbox"/> 9 / 1 | <input type="checkbox"/> — | <input type="checkbox"/> unknown | |
| | <input type="checkbox"/> triple-hung | <input type="checkbox"/> casement | <input checked="" type="checkbox"/> other | <input type="checkbox"/> 6 / 6 | <input type="checkbox"/> 3 / 1 | <input type="checkbox"/> 12 / 1 | <input type="checkbox"/> — | <input type="checkbox"/> other | |

| | | | | | | | |
|---------------------------------|------------------------------------------------------|-------------------------------------|-------------------------------------------------|----------------------------------------|-----------------------------------|----------------------------------|--------------------------------|
| Doors/Surrounds | | <input type="checkbox"/> batten | <input type="checkbox"/> flush | <input type="checkbox"/> fanlight | <input type="checkbox"/> screened | <input type="checkbox"/> Federal | <input type="checkbox"/> other |
| <input type="checkbox"/> french | <input type="checkbox"/> glazed | <input type="checkbox"/> sidelights | <input checked="" type="checkbox"/> replacement | <input type="checkbox"/> Greek Revival | | | |
| <input type="checkbox"/> panel | <input checked="" type="checkbox"/> partially glazed | <input type="checkbox"/> transom | <input type="checkbox"/> unknown | <input type="checkbox"/> Queen Anne | | | |

1 number

| | | | | | | | | | | | | | |
|-----------------------------------|----------------------------------|---------------------------------------------------|----------------------------------------|-------------------------------------|-----------------------------------|----------------------------------|-------------------------------------|-----------------------------------|----------------------------------------|-------------------------------------|----------------------------------------|-------------------------------------|--------------------------------|
| Porch | | <input type="checkbox"/> gallery | <input type="checkbox"/> porte-cochere | <input type="checkbox"/> integrated | <input type="checkbox"/> enclosed | Secondary | | <input type="checkbox"/> gallery | <input type="checkbox"/> porte-cochere | <input type="checkbox"/> integrated | <input type="checkbox"/> enclosed | | |
| <input type="checkbox"/> stoop | <input type="checkbox"/> balcony | <input checked="" type="checkbox"/> partial width | <input type="checkbox"/> wrap | <input type="checkbox"/> unknown | <input type="checkbox"/> stoop | <input type="checkbox"/> portico | <input type="checkbox"/> full width | <input type="checkbox"/> wrap | <input type="checkbox"/> unknown | <input type="checkbox"/> balcony | <input type="checkbox"/> partial width | <input type="checkbox"/> peripteral | <input type="checkbox"/> other |
| <input type="checkbox"/> verandah | <input type="checkbox"/> loggia | <input checked="" type="checkbox"/> attached | <input type="checkbox"/> screened | <input type="checkbox"/> other | <input type="checkbox"/> verandah | <input type="checkbox"/> loggia | <input type="checkbox"/> attached | <input type="checkbox"/> screened | <input type="checkbox"/> other | | | | |

| Additions and Alterations | | impact |
|---------------------------|------------------------------------------------|-----------------------------------------------------------------------------------|
| date (mm/dd/yyyy) | description | |
| | Door (primary) replaced | <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> OS |
| | Addition to rear elevation/rear porch enclosed | <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> OS |
| | Windows replaced – some | <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> OS |
| | Roof replaced w/ incomp. materials | <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> OS |
| | Brick piers painted | <input type="checkbox"/> I <input type="checkbox"/> M <input type="checkbox"/> OS |



| | |
|-----------------------------------------------------------------------------|---------------------------------------------------------------|
| Context | |
| <input type="checkbox"/> Plantation Agriculture (1750-1945) | <input type="checkbox"/> Creole Architecture (1750 - 1900) |
| <input type="checkbox"/> Upland South Culture (1820 -1945) | <input type="checkbox"/> New Orleans as Seaport (1718 -1945) |
| <input type="checkbox"/> Transportation Systems (1812 -1845) | <input type="checkbox"/> Historic Lumber Industry (1880-1920) |
| <input type="checkbox"/> Rice Boom (1880-1945) | <input type="checkbox"/> Oil and Gas Industry (1903-1945) |
| <input checked="" type="checkbox"/> Anglo-American Architecture (1800-1945) | |

| | |
|-------------------------------------------------------------|-----------------------------------------|
| Significance | |
| <input type="checkbox"/> agriculture | <input type="checkbox"/> religion |
| <input checked="" type="checkbox"/> architecture | <input type="checkbox"/> science |
| <input type="checkbox"/> archeology | <input type="checkbox"/> social history |
| <input type="checkbox"/> art | <input type="checkbox"/> transportation |
| <input type="checkbox"/> commerce | |
| <input type="checkbox"/> communications | |
| <input type="checkbox"/> community planning and development | |
| <input type="checkbox"/> conservation | |
| <input type="checkbox"/> economics | |
| <input type="checkbox"/> education | |
| <input type="checkbox"/> engineering | |
| <input type="checkbox"/> entertainment/recreation | |
| <input type="checkbox"/> ethnic heritage | |
| <input type="checkbox"/> exploration/settlement | |
| <input type="checkbox"/> health/medicine | |
| <input type="checkbox"/> industry | |
| <input type="checkbox"/> invention | |
| <input type="checkbox"/> landscape architecture | |
| <input type="checkbox"/> law | |
| <input type="checkbox"/> literature | |
| <input type="checkbox"/> maritime history | |
| <input type="checkbox"/> military | |
| <input type="checkbox"/> performing arts | |
| <input type="checkbox"/> philosophy | |
| <input type="checkbox"/> politics/government | |

Narrative

Survey conducted by Cox McLain Environmental Consulting for the City of Slidell in February 2017.

Notes:

History

First appears on 1926 Sanborn map.

Sources

Sanborn maps.

Outbuildings

- 1 - single crib barn 4 - storage/misc. shed 7 - corn crib 10 - garconier 13 - office 16 - privy
- 2 - double crib barn 5 - smoke house 8 - coop 11 - pigeonnier 14 - machine shed 17 - stable
- 3 - transverse-crib barn 6 - spring/well house 9 - quarters 12 - kitchen 15 - garage 18 - other

| | | | | | |
|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| #1 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ | #2 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ | #3 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ | #4 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ | #5 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ | #6 <i>type:</i> _____ <i>date: e / c</i> _____ <i>comment:</i> _____ _____ _____ |
|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|

Site Plan

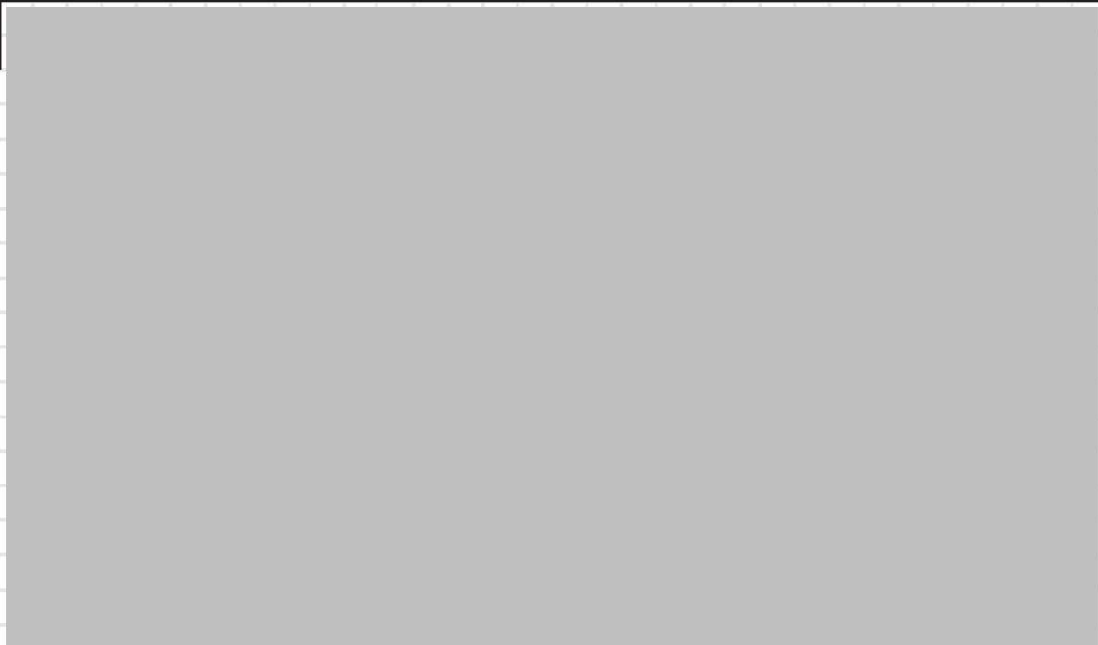


Figure 4. City and State listed historic structures within the immediate vicinity.



1963 Bayou Ln (circa 1900) Anglo-American Architecture
(central hall form)



1973 Bayou Ln (circa 1900) Anglo-American Architecture
(central hall form)



2137 Bayou Ln (circa 1890) Anglo-American Architecture

| # | REVISIONS | DATE |
|---|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



NEW RESTROOMS
 PALMETTOS ON THE BAYOU
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 04-09-2024
 JOB NO.: [Number]
 PROJECT: [Name]
 SHEET TITLE: PROPOSED OVERALL SITE PLAN (ENLARGED PLAN)
 DRAWING NUMBER: [Number]

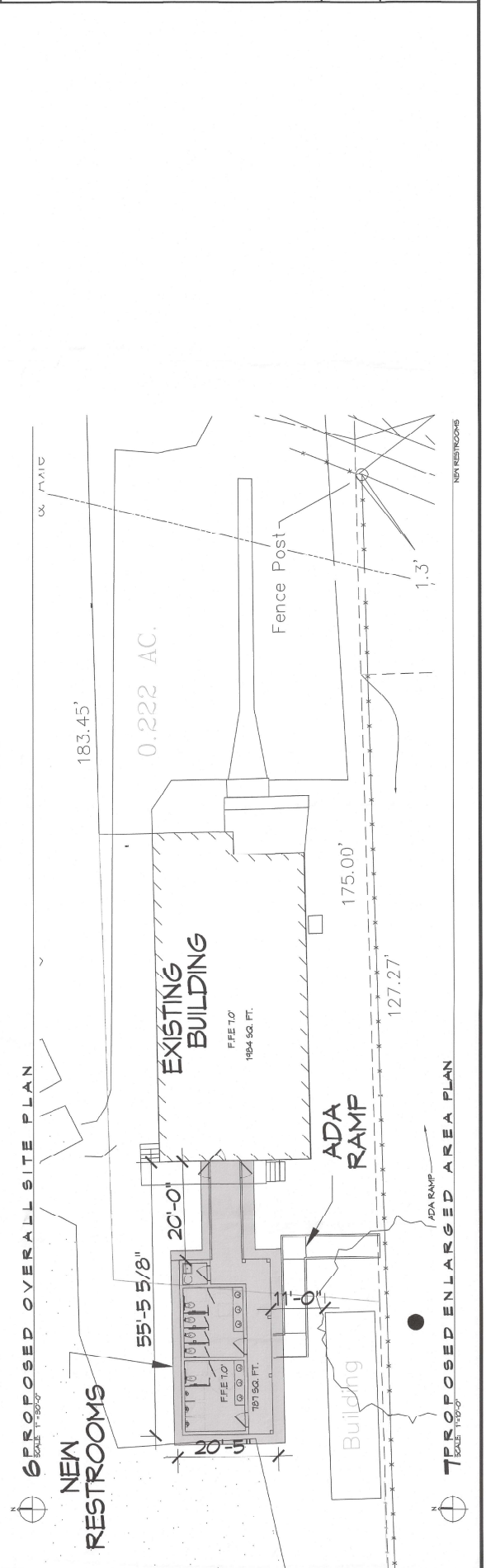
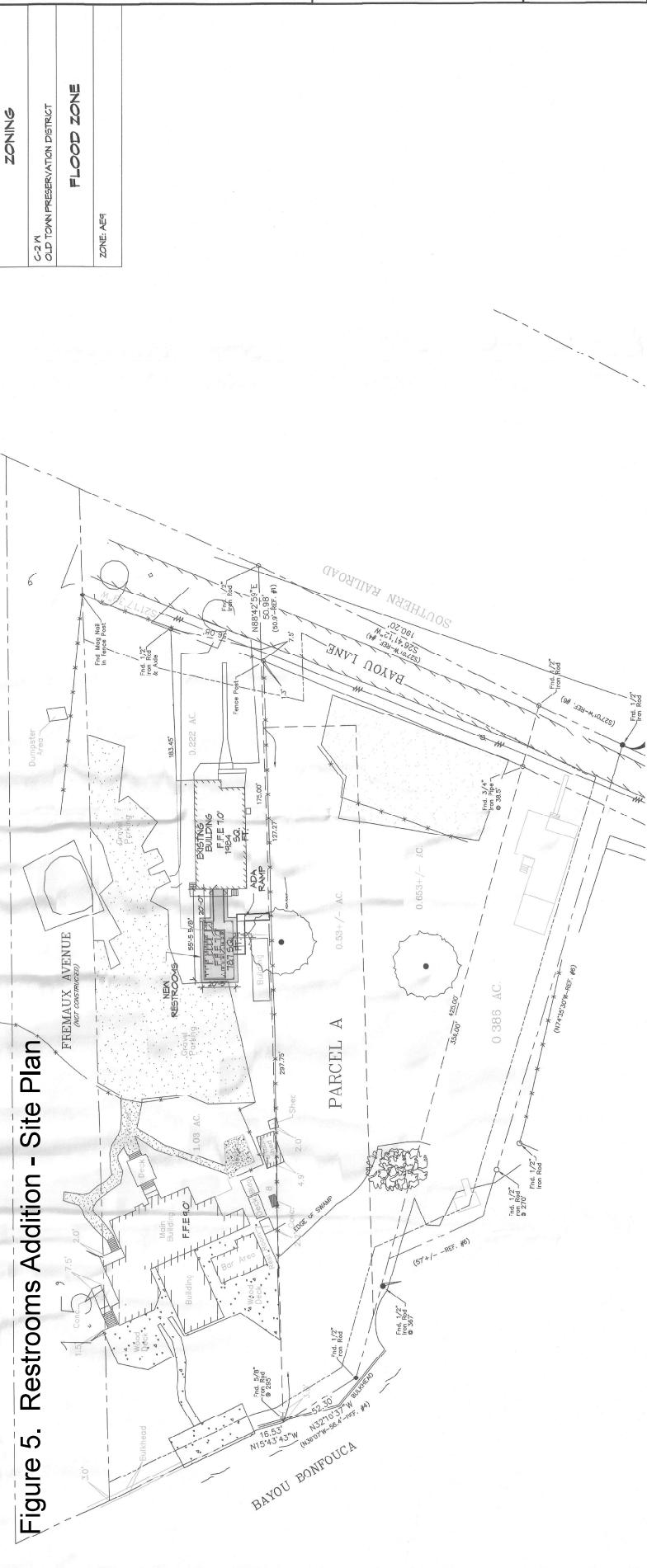
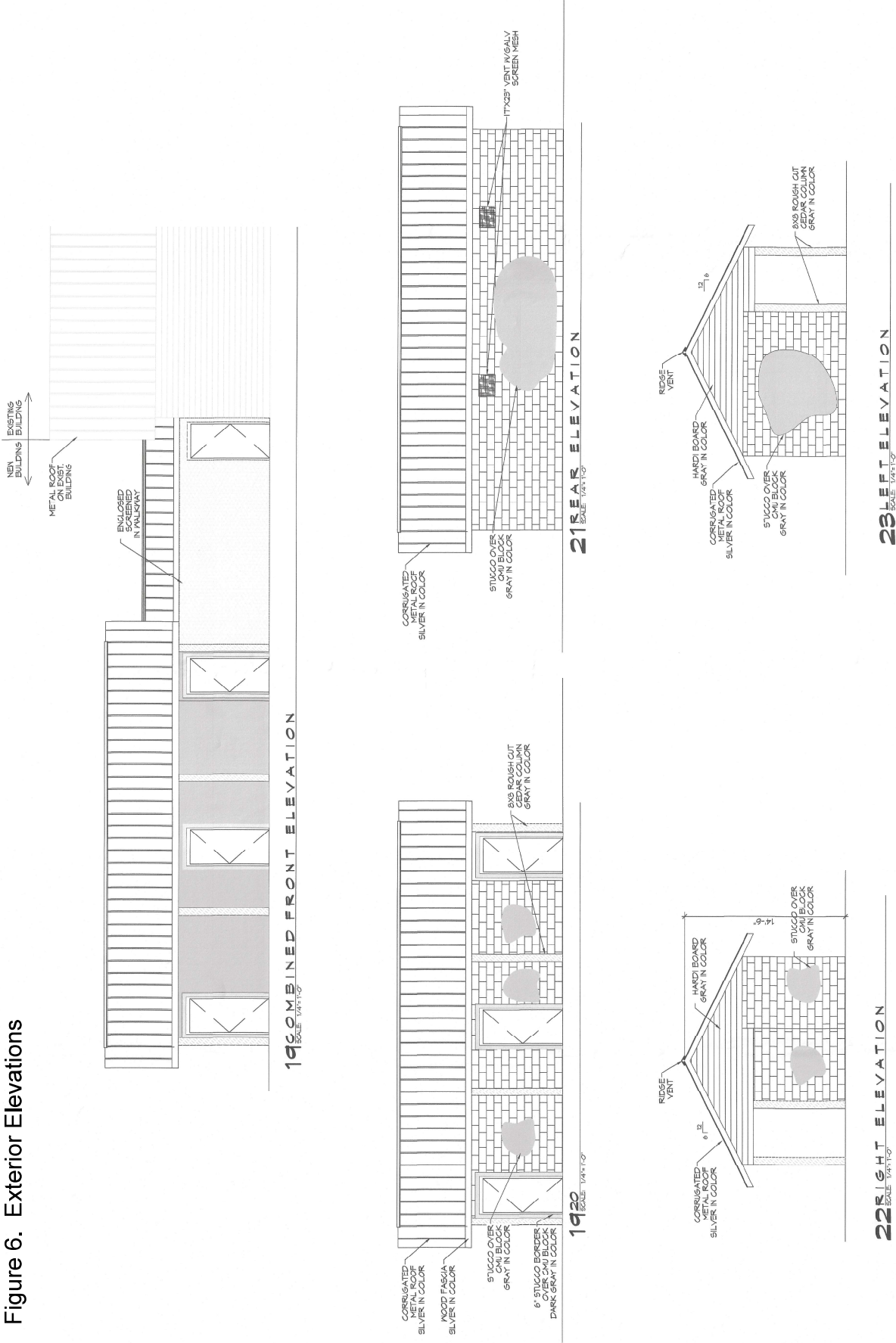


Figure 5. Restrooms Addition - Site Plan

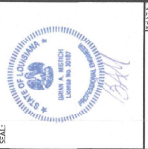
6 PROPOSED OVERALL SITE PLAN
 SCALE: 1/8" = 1'-0"

7 PROPOSED ENLARGED AREA PLAN
 SCALE: 1/16" = 1'-0"

Figure 6. Exterior Elevations



| # | DESCRIPTION | DATE |
|---|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |





Staff Report
Case No. CA24-28
Certificate of Appropriateness
for Exterior Alterations at 1928 First Street

985.646.4320 | 250 Bouscaren St, Ste 203, Slidell, LA 70458 | planningdept@cityofslidell.org | myslidell.com

Location: 1928 First Street (**Figure 1**)

Historic Status: Contributing historic structure within the OTPD

Owner/Applicant: Andrew Schwing

Zoning: C-3 Central Business/OTPD Olde Towne Preservation District

Request: Certificate of Appropriateness for Exterior Alterations – New Front Façade

OTPDC Meeting: 6/12/2024

STAFF RECOMMENDATION

Approval

SCOPE OF WORK

1. 1928 First Street is developed with a single-story commercial building constructed Circa 1955. (**Figure 2**).
2. The applicant proposes to alter the front façade as shown in **Figure 3** by:
 - Demolishing existing parapet along front façade
 - Constructing new single-level parapet wall along front façade with pitched roof behind
 - Replacing the existing storefront windows with large multi-lite windows
 - Replacing the existing building entrance with a larger double-door entrance with side-lites in the same design as the new windows
 - Replacing the existing awning with an aluminum canopy with tension rod supports
3. The materials proposed for the exterior alterations as shown in **Figure 4** are:
 - The parapet wall will be brick over block, then the entire brick facade will be sacked/smeared in with a white finish – Color: Soft White **Manufacturer? Color Number?**
 - The coping for the parapet wall cap will be prefinished steel or aluminum coping in either **black or white finish**
 - Black anodized aluminum windows with divided lites and glazing in Solarban 60 Optigray
 - Black anodized aluminum double doors with side lites and glazing to match windows

- Powder coated black, aluminum canopy with matching support rods expanding the front façade over the centrally located entrance and large windows on both sides of the door.
- Two light fixtures have yet to be determined.

STANDARDS FOR REVIEW

4. This request is for demolition of the existing parapet wall, construction of new parapet, replacement of the storefront windows and primary entrance. It is reviewed against the standards of Sec. 2-216(x) *Demolition* and Sec. 2-216(q) *New construction* of the City's Code of Ordinances. The following factors are considered in this request for a Certificate of Appropriateness:
 - a. *Demolition*. The existing parapet is out of context with adjacent commercial buildings along First Street. Demolition of the parapet does not negatively affect the historic character of the district.
 - b. *Scale*. The proposed parapet design, the installation of larger windows and entrance doors meet the design standards for historic structures within Olde Towne
 - d. *Materials*. The materials proposed for the alterations are outlined in finding #3 with inspirational examples shown on **Figure 4**. The proposed materials are appropriate.
 - e. *Decorative details*. The proposed brick veneer parapet and cornice, multi-lite windows, double-door entrance with multi-lite side lites, canopy and new light fixtures create a multi-textured appearance. These details create a unifying effect and are compatible with the context of the neighborhood.
 - f. *Architectural elements*. The existing building is a rectangular shape structure with a pitch roof screened by a parapet. The proposed alterations provide elements that can be found throughout the Olde Towne area and are considered appropriate.

FINDINGS

5. The proposed exterior alterations are consistent with the applicable standards of the Olde Towne Preservation District.

FIGURES

Figure 1. Location

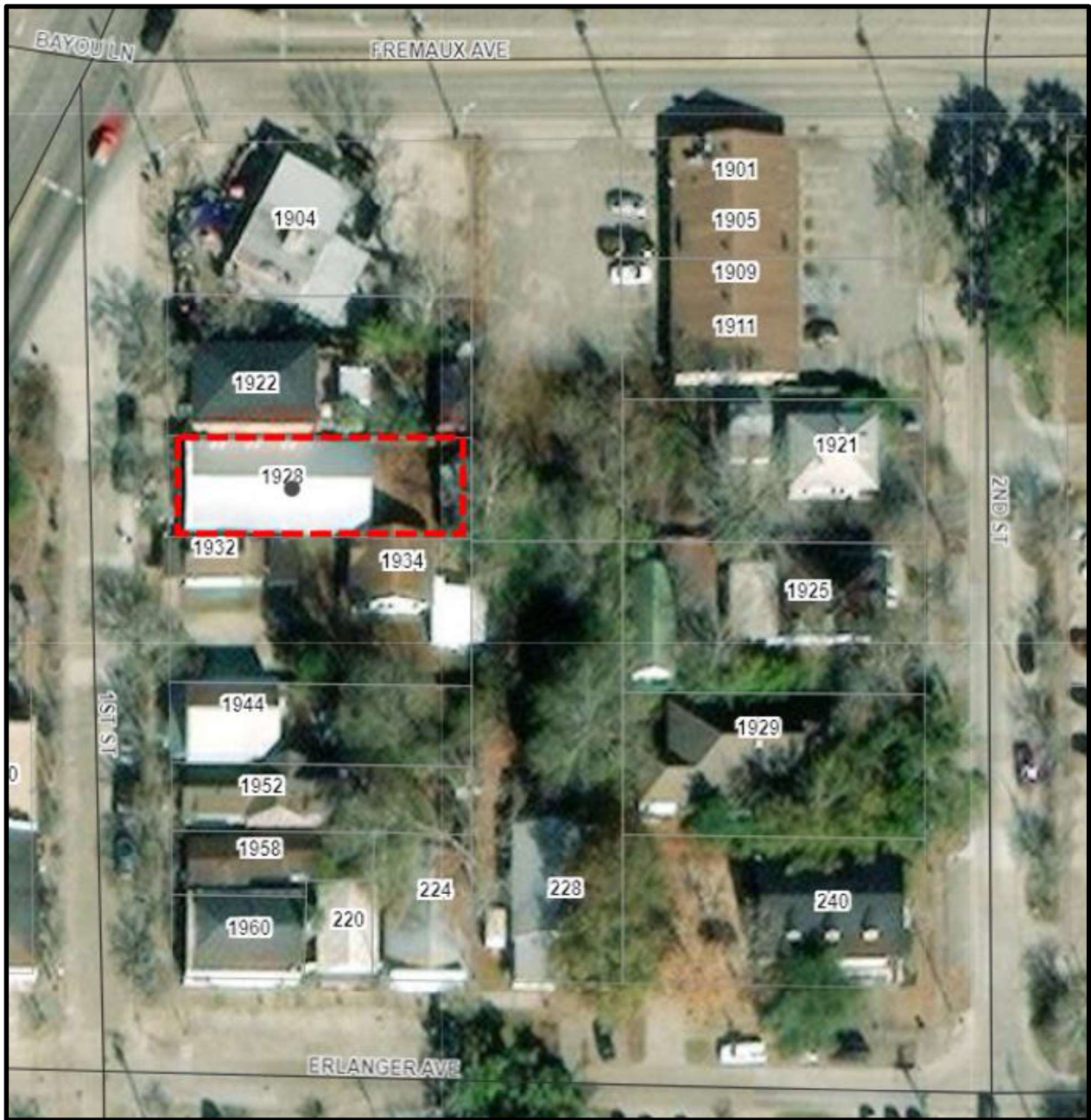


Figure 2. Street View (2022)

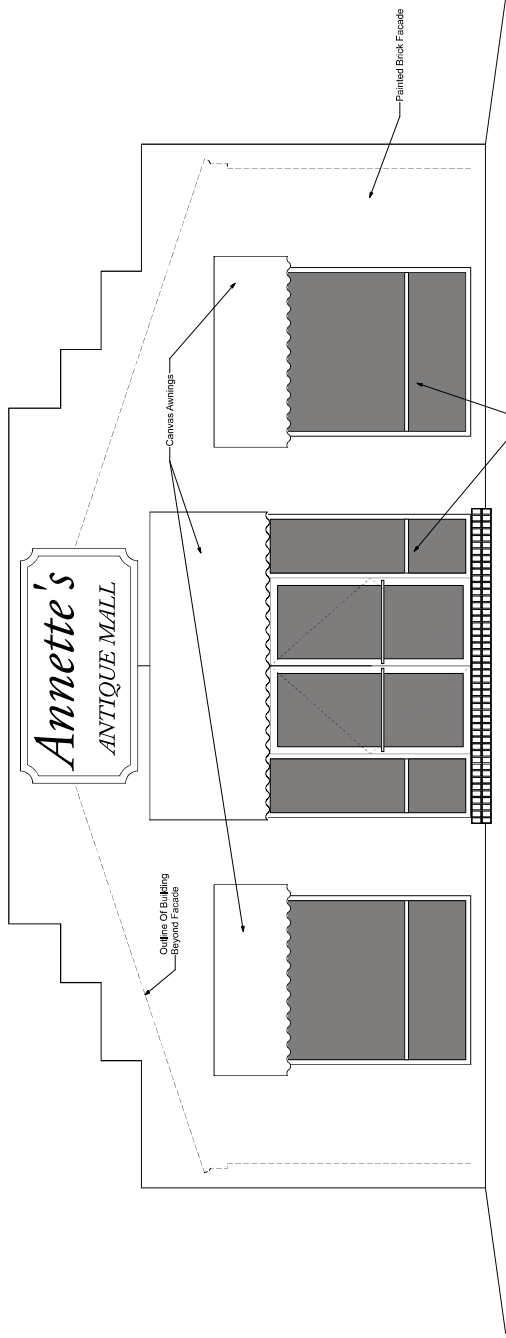


Figure 3. Existing and Proposed Front Elevation

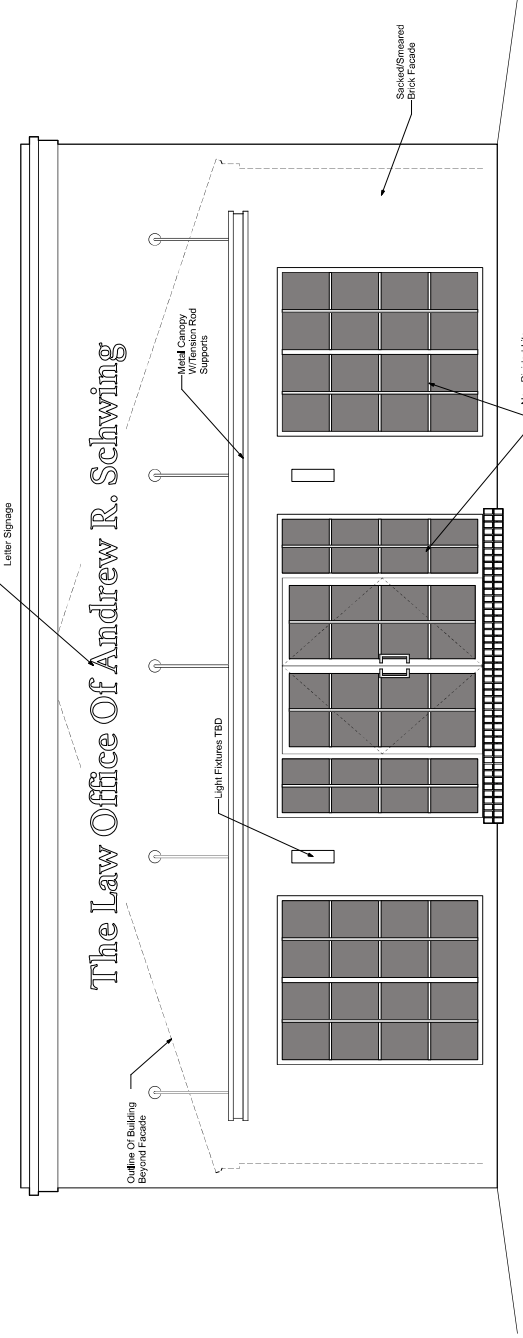
For Review

| Issued | Date | To | Use / Restriction |
|--------|----------|--------|-----------------------|
| | 07/19/24 | Client | Schematic Review |
| | 07/23/24 | Client | Final Design Approval |

| | |
|----------|-------------------------------------|
| Progress | <input checked="" type="checkbox"/> |
| Release | <input type="checkbox"/> |



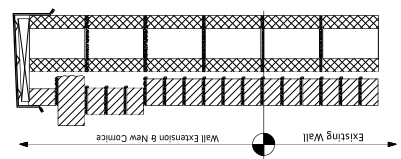
1 Existing Building Elevation
A200 Scale: 1/2" = 1'-0"



2 Proposed Building Elevation
A200 Scale: 1/2" = 1'-0"

Figure 4. Inspirational Samples of Materials

For Review



1 Wall Extension & Cornice Detail
 A300 Scale: 1/12" = 1'-0"

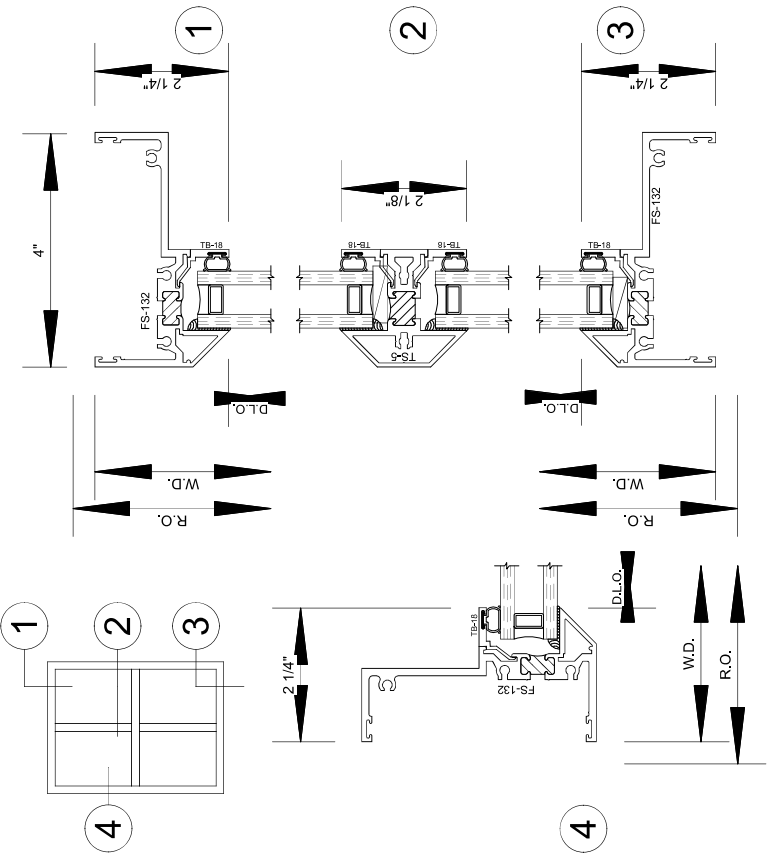


2 Example Image Of Proposed Sacked/Smear'd Brick Finish
 A300 Scale: None
 Note: Sacked/Smear'd Brick Finish To Be Painted Sat White



6 Inspirational Image Driving Proposed Renovations
 A300 Scale: None

Note: Inspiration For Brick Color, Fenestration Style And Color, Canopy Style & Color



3 Winco Windows Series 1450S Historical Window Frame & Mullion Details
 A300 Scale: Actual Size
 Note: All Exterior Window And Door Frames To Be Black Anodized Aluminum.
 All Glazing To Be Clear (Or Optigray Produced Opening). (See Example Image Adjacent)



5 Example Images Of Aluminum Canopy Style & Color
 A300 Scale: None
 Note: Manufacturer: Skyscape Architectural Canopies, Color: Powder Coated Black



4 Example Image Of Solarboon 60 Optigray Glazing.
 A300 Scale: None